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CITY of CLOVIS

AGENDA • APRIL 18, 2019 PLANNING

Thursday, April 18, 2019
Council Chamber, 1033 Fifth Street, Clovis, CA 93612 (559) 324-2340
www.cityofclovis.com

Commission Members: Amy Hatcher Chair, Paul Hinkle Chair Pro Tem, Alma Antuna, Brandon Bedsted, Mike Cunningham

The Planning Commission welcomes you to this meeting.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate at this meeting, please contact Planning Division staff at (559) 324-2340. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection at the City of Clovis Planning Division, located in the Planning and Development Services building, between 8:00 a.m. and 3:00 p.m. Monday through Friday. In addition, such writings and documents may be posted on the City's website at www.cityofclovis.com.

ABOUT THE MEETING

The Planning Commission consists of five Clovis residents appointed by the City Council to make decisions and recommendations on City planning issues. Decisions made by the Planning Commission may be appealed to the City Council.

After the approval of minutes, the Chairperson of the Planning Commission will ask for business from the floor. If you wish to discuss something which is NOT listed on the agenda, you should speak up at this time.

Next, the Planning Commission will discuss each item listed on the agenda. For the items on the agenda which are called "public hearings," the Planning Commission will try to follow the procedure listed below:

For each matter considered by the Commission, there will first be a staff presentation, followed by a presentation from the project applicant. Testimony from supporters of the project will then be taken, followed by testimony from those in opposition. The applicant will have the right to a final rebuttal presentation prior to closing the public hearing. Once this is complete, the Chairperson will close the public hearing and the Commission will discuss the item and cast their votes.

2 you wish to speak on an item, please step to the podium and clearly state your name and address for the record. The Planning Commission wants to know how you feel about the items they are voting on, so please state your position clearly. In accordance with Section 13 of Article 2 of the Planning Commission Rules and Regulations governing length of public debate, all public testimony from those in support and in opposition to the project will be limited to five minutes per person. In order for everyone to be heard, please limit your comments to 5 minutes or less.

* * * * * *

CALL TO ORDER

FLAG SALUTE

ROLL CALL

APPROVAL OF MINUTES

1. Planning Commission Minutes from the March 28, 2019, Meeting.

COMMISSION SECRETARY COMMENTS

PLANNING COMMISSION MEMBER COMMENTS

COMMUNICATIONS AND REFERRALS

BUSINESS FROM THE FLOOR

This is an opportunity for the members of the public to address the Planning Commission on any matter that is not listed on the Agenda.

PUBLIC HEARINGS

2. Consider Approval, Res. 19-___, R2019-01, A request to approve a Master Plan to prezone approximately 208 acres of property located northeast of Behymer and Willow Avenues and to adopt development standards for Focus Area #11 of the General Plan. Multiple owners, Main Street Promenade, LLC, applicant.

   Staff: Bryan Araki

   Recommendation: Approve

3. Consider Approval, Res. 19-___, CUP2019-01, A request to approve a conditional use permit to allow an instant oil change service station use on a portion of a 0.87-acre parcel at 1515 Herndon Avenue, located on the north side of Herndon Avenue between Sunnyside and Fowler Avenues. Rose Dolarian, property owner; Cathy McGuire, Moo Inc., applicant.

   Staff: Ricky Caperton, AICP, Senior Planner

   Recommendation: Approve

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ADJOURNMENT

Meetings and Key Issues			
May 23, 2019	6:00 P.M.	Regular Meeting	Council Chamber
June 27, 2019	6:00 P.M.	Regular Meeting	Council Chamber
July 25, 2019	6:00 P.M.	Regular Meeting	Council Chamber
August 22, 2019	6:00 P.M.	Regular Meeting	Council Chamber
September 26, 2019	6:00 P.M.	Regular Meeting	Council Chamber

AGENDA ITEM: 1

CLOVIS PLANNING COMMISSION MINUTES
March 28, 2019

A regular meeting of the Clovis Planning Commission was called to order at 6:00 p.m. by Chair Hatcher in the Clovis Council Chamber.

Flag salute led by Commissioner Cunningham

Present: Commissioners Antuna, Bedsted, Cunningham, Hinkle, Chair Hatcher

Absent: None

Staff: Bryan Araki, City Planner
Orlando Ramirez, Deputy City Planner
George Gonzalez, Associate Planner
Sean Smith, Associate Civil Engineer

MINUTES

1. The Commission approved the February 28, 2019, minutes by a vote of 5-0.

COMMISSION SECRETARY

None

PLANNING COMMISSION MEMBERS COMMENTS

Commissioner Antuna expressed gratitude for being sent to the Planning Commission Academy, providing some details of what her experience entailed.

Commissioner Hinkle also expressed gratitude for the experience, providing details regarding upcoming bills he learned about that concern him.

Commissioner Cunningham congratulated the Planning and Development Services Department, having learned at the last City Council meeting that the City of Clovis General Plan Housing Element has been recertified, with compliments from the Housing Authority staff.

City Planner Bryan Araki confirmed that the department had received a letter on Monday from HCD recertifying the general plan housing element and informed that had been requested to keep the news quiet, as Governor Newsom intends to announce the information in his next address. City Planner Araki also warned that inventory is lost with each approved tract map, and informed that there is a new reporting procedure in place to monitor loss and gain of housing inventory.

COMMUNICATIONS AND REFERRALS

An item of correspondence related to Agenda Item X-3.

BUSINESS FROM THE FLOOR

None

CONSENT CALENDAR

None

PUBLIC HEARINGS

2. Consider approval, **TM6123**, A request to approve a one-year extension to an approved tentative tract map for property located on the north side of Shaw Avenue, west of Highland Avenue. Fagundes Dairy, owner/applicant; Precision Civil Engineering, representative.

Associate Planner George Gonzalez presented the staff report.

At this point, the Chair opened the floor to the applicant.

Ed Dunkel of Precision Civil Engineering, 5041 San Juan Avenue, offered to answer any questions.

Commissioner Cunningham remarked that, after visiting the site, there appears to have been no work done over the last two years and the applicant is now requesting a one-year extension. He inquired as to the reason for the delay in work.

Mr. Dunkel explained that the delay is due to issues involving the improvement plans for Shaw Avenue, and that provided those issues are settled, plans can be finalized and work can begin.

At this point, the Chair opened the floor to those in favor.

There being none, the Chair opened the floor to those in opposition.

There being none, the Chair closed the public portion.

Commissioner Antuna requested information from Associate Civil Engineer Sean Smith regarding the Shaw Avenue improvement plan issues delaying this project. Associate Civil Engineer Smith provided some details and assured the Commission that staff are working with the applicant to resolve the aspects that involve them.

Commissioner Cunningham sought and received confirmation that the delay is more on the part of the City rather than the developer.

Commissioner Hinkle sought and received confirmation that there have been no changes or corrections to what was previously approved for this map.

At this point, a motion was made by Commissioner Bedsted and seconded by Chair Hatcher to approve an extension to TM6123. The motion was approved by a vote of 5-0.

3. Consider items associated with approximately 7.5 acres of land located at the southwest corner of Herndon and N. McKelvy Avenues. Mark O'Polo Enterprises, Inc., owners/applicant; Kent P. Rodrigues, representative.

    a. Consider Approval, Res. 19-10, A request to approve an environmental finding of a Mitigated Negative Declaration for Rezone R2018-11, Conditional Use Permit CUP2018-13, and Site Plan Review SPR2018-25.

    b. Consider Approval, Res. 19-11, **R2018-11**, A request to approve a rezone from the R-A (Single-Family Residential – 24,000 Sq. Ft.) Zone District to the R-3 (Medium Density Multiple Family Residential – 1 unit/2,000 Sq. Ft.) Zone District.

    c. Consider Approval, Res. 19-12, **CUP2018-13**, A request to approve a conditional use permit to allow 3-story buildings and 48-feet, 6-inches in height for Building Types 1, 1A, and 3. Additionally, allow 36-feet, 4-inches in height for Building Types 2 and 5, allow 36-feet, 3-inches in height for Building Type 5A. The Code allows a maximum height of 2 stories and 35-feet for main structures.

Associate Planner George Gonzalez presented the staff report.

Commissioner Hinkle inquired as to whether the proposed project falls under density bonus law. City Planner Araki responded in the negative, explaining what would be needed to make that the case.

Commissioner Hinkle followed up with an inquiry as to whether the proposed project is consistent with the Housing Accountability Act. City Planner Araki responded in the affirmative.

At this point, the Chair opened the floor to the applicant.

Dirk Poeschel of 923 Van Ness Avenue, Fresno, provided background on the project, addressed the letters of opposition, and offered to answer any questions. In addition, he indicated that the project architect and the applicant were also present and available to answer questions.

Commissioner Bedsted inquired as to whether the feedback from the neighborhood meeting resulted in any design changes. Mr. Poeschel responded in the affirmative, providing an explanation of the resulting changes.

Commissioner Bedsted sought and received confirmation that there had been positive reaction from the neighbors to increasing the height of a wall. He remarked that this increase and a previously-mentioned reorientation of the buildings are good and reasonable concessions. Mr. Poeschel responded that something will go there sooner or later, and a well-designed residential project is more compatible with the area than a commercial or industrial project.

Commissioner Hinkle remarked that, with the way things are changing, there could be sixty-foot tall buildings going on this property in the future. He inquired as to whether the applicant/developer would able to make adjustments to reach the parking requirement. Mr. Poeschel responded that they will work something out to reach that requirement.

Commissioner Hinkle inquired as to whether there had been any consideration given to electric charging stations. Mr. Poeschel responded that they did not wish to commit to something here but that it is under consideration, as the presence of such is a marketing tool and the new building code will have certain requirements. Commissioner Hinkle followed up with a suggestion to contact PG&E on this, as a developer last year had benefitted from doing so on a condominium project. Mr. Poeschel informed that there are already plans for solar panels on parking for the project.

Commissioner Hinkle sought and received confirmation that the proposed buildings would be two-story on the south and east sides of the site to accommodate the neighbors.

Commissioner Antuna referred to a picture exhibit and inquired as to whether the developer intends to put more mature trees on the portion of the site close to the neighboring residential area. Mr. Poeschel responded that the referenced picture is showing the proposed landscaping at maturity.

At this point, the Chair opened the floor to those in favor.

Linda Loring of 312 N. McKelvy stated her preference for nice-looking apartments rather than for an industrial building. She informed that the nearby Marbella Apartments and their residents have caused no problems to her knowledge or recollection. She supports this project as people who will work at other nearby new developments, such as the Clovis Community Hospital, will need a place to live, and a residential development is more to her preference than a commercial or industrial project.

At this point, the Chair opened the floor to those in opposition.

There being none, the Chair closed the public portion.

Commissioner Hinkle sought confirmation as to the private nature of an irrigation line going through the property. City Planner Araki confirmed that it appears to be a private irrigation line but expressed uncertainty as to where it terminates, though he and Commissioner Hinkle both stated that it appears to terminate on the subject property.

Chair Hatcher inquired as to the next closest project in which three-story apartments were allowed. Associate Planner Gonzalez cited the apartment development on the south side of the Sierra Vista Mall. City Planner Araki cited Hotchkiss Terrace at the intersection of Barstow and Minnewawa Avenues.

Chair Hatcher inquired as to whether there is anything currently planned for the bottom cutout area marked as mixed use. City Planner Araki responded that it contains the original home to the property, which is currently slated to remain.

Chair Hatcher remarked that she is concerned with the larger number of parking stalls (twenty-two) that still need to be added to the site plan and inquired as to whether staff has any concerns with finding space to locate that remaining parking. Deputy City Planner Orlando Ramirez responded that this will be done and memorialized through the site plan review process.

Commissioner Antuna cited a letter from the Department of Transportation in regards to the project and the Herndon Avenue expansion and inquired as to whether staff had discussed that issue with the developer. Mr. Poeschel provided some information and clarification on the matter, confirmed by City Planner Araki.

Chair Hatcher cited a letter from Clovis Unified School District that stated the project will put their schools, Clovis High School in particular, well over capacity and inquired as to staff's take on it. City Planner Araki referred to Associate Planner Gonzalez's report, this issue having been identified as an initial misunderstanding on the part of the school district. The project is to be evaluated for a zoning change, consistency with the general plan, and the conditional use permit, and does not involve a re-designation of land use.

Commissioner Antuna followed up with an inquiry as to what target consumers the applicant envisions for residency in the apartment development, that it appears to be in a prime location for student housing. Mr. Poeschel responded that they wish to address different component of the market, providing an explanation.

At this point a motion was made by Commissioner Cunningham and seconded by Commissioner Hinkle to approve a finding of a Mitigated Negative Declaration for R2018-11, CUP2018-13, and SPR2018-25. The motion was approved by a vote of 5-0.

At this point a motion was made by Commissioner Cunningham and seconded by Commissioner Hinkle to approve R2018-11. The motion was approved by a vote of 5-0.

At this point a motion was made by Commissioner Cunningham and seconded by Commissioner Hinkle to approve CUP2018-13. The motion was approved by a vote of 5-0.

OLD BUSINESS

None

NEW BUSINESS

Chair Hatcher reminded the Commission that the April meeting has been moved up a week due to the Clovis Rodeo.

ADJOURNMENT AT 6:47 P.M. UNTIL the Planning Commission meeting on April 18, 2019.

_____

Amy Hatcher, Chair

AGENDA ITEM NO: 2

CITY of CLOVIS

REPORT TO THE PLANNING COMMISSION

TO: Clovis Planning Commission

FROM: Planning and Development Services

DATE: April 18, 2019

SUBJECT: Consider Approval, Res. 19-___, R2019-01, A request to approve a Master Plan to prezone approximately 208 acres of property located northeast of Behymer and Willow Avenues and to adopt development standards for Focus Area #11 of the General Plan. Multiple owners, Main Street Promenade, LLC, applicant.

Staff: Bryan Araki
Recommendation: Approve

ATTACHMENTS: 1. Draft Resolution
2. Focus Area #11 Master Plan

CONFLICT OF INTEREST

None

RECOMMENDATION

Staff recommends that the Planning Commission approve prezone and Master Plan for Focus Area #11.

EXECUTIVE SUMMARY

The City received an application to prezone approximately 208 acres of property located on the east side of Willow Avenue, north of Behymer Avenue, referred to as Focus Area #11 in the General Plan. The applicant provided a draft Master Plan including development standards for Focus Area #11, which if approved, would accommodate annexation and guide development as the City grows in northwest Clovis (Heritage Grove).

BACKGROUND

- General Plan Designation: Mixed Use Village (Focus Area #11)
- Existing Zoning: County AE-20
- Lot Size: 208 acres
- Current Land Use: Rural Residential, Agriculture, Church
- Adjacent Land Uses:
  - North: Rural Residential, Agriculture
  - South: Rural Residential, Agriculture
  - East: Rural Residential, Agriculture
  - West: Single-Family, Schools, Agriculture

PROPOSAL AND ANALYSIS

General Plan

The Clovis General Plan Update (GPU) adopted in August 2014, included two new urban village growth areas. The Northwest Growth Area, or Heritage Grove, is a four square mile area bounded by Willow, Copper, Sunnyside, and Shepherd Avenues. Heritage Grove is an urban village which provides a variety of land uses from very low density single-family homes, very high density multiple-family, to commercial and agriculture uses.

The General Plan identified five Focus Areas within Heritage Grove, each requiring a Master Plan prior to development. Because of the unique nature of the Focus Areas, the Master Plans are intended to provide direction and guide development with precise standards that are not available in the standard Development Code.

Heritage Grove Design Guidelines

In December of 2016, the City Council adopted the Heritage Grove Design Guidelines. The intent of the guidelines is to establish the overall theme and quality for Heritage Grove, refining and implementing the Goals and Objectives of the General Plan.

Heritage Grove encompasses and embraces the historic agriculture and cultural history of the area. This area was originally grass and grazing lands that progressed toward irrigated agriculture as water resources became available. Garfield Colony subdivision was later established leading to the Garfield School District in 1883, beginning a legacy of education in the vicinity.

Heritage Grove now plays off of the established education community by locating an urban village directly east, across Willow Avenue. This urban village will provide a youthful village for living, working, entertaining and dining. This urban village is described as Focus Area #11 in the General Plan and Heritage Grove Design Guidelines.

Focus Area #11

Focus Area #11, is approximately 208 acres on the east side of Willow Avenue between Behymer Avenue and the north property line of Clovis Hills Church (see Figure A below). Clovis Community College and Clovis North High School are located directly across Willow Avenue on the west, and provided some of the inspiration to create Focus Area #11 as an active main street mixed use village. The applicants, Mr. Manny Penn and Mr. Michael Saberi of Main Street Promenade, LLC, who own approximately 18 acres southeast of the Enterprise Canal and Willow Avenues, are the authors of the proposed Master Plan. Mr. Penn and Mr. Saberi spent significant time working with property owners within Focus Area #11 to refine the development standards to create an active village, providing a unique destination for the valley.

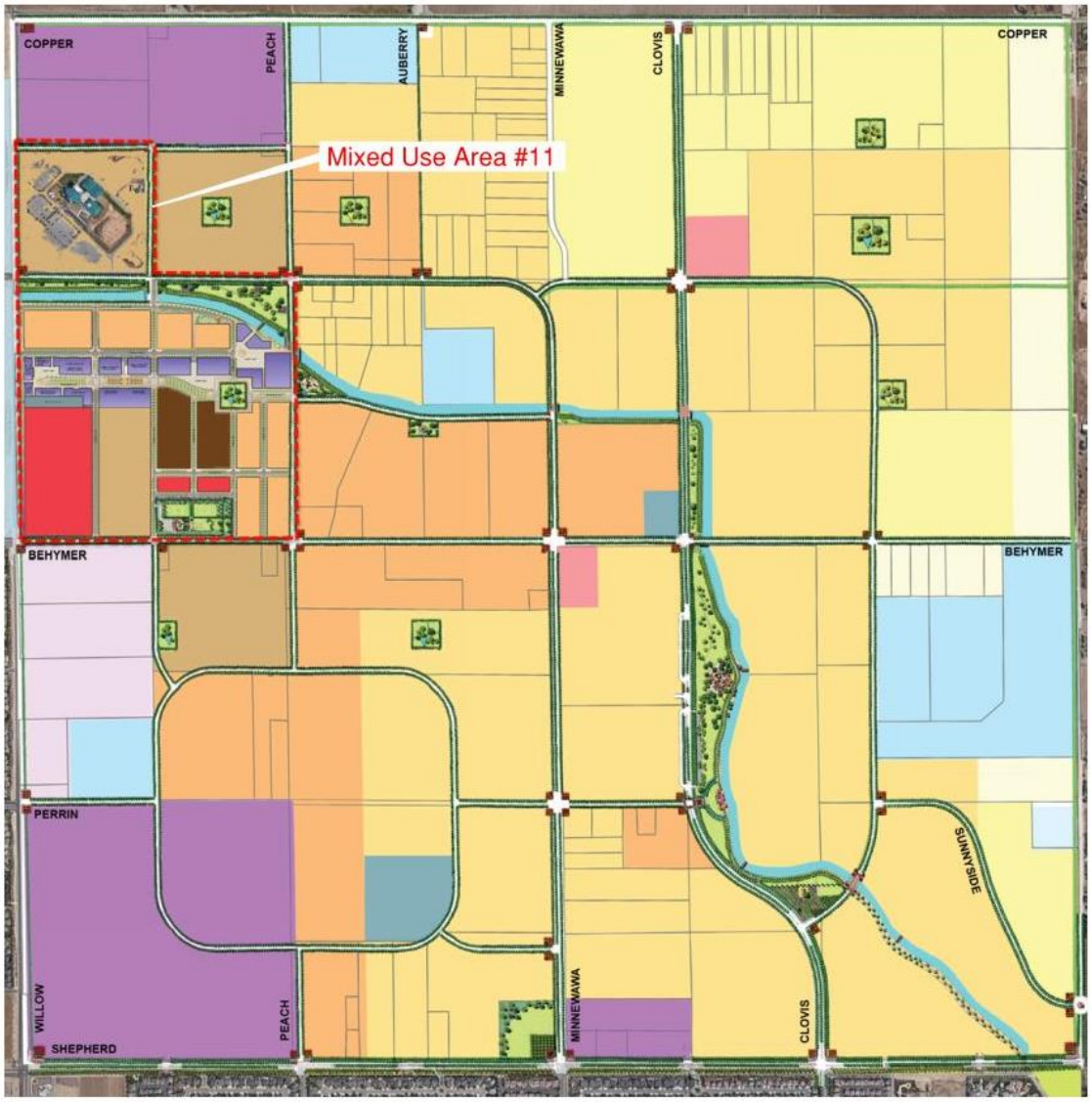


FIGURE A – HERITAGE GROVE AND FOCUS AREA #11

Planning Areas

Focus Area #11 is broken up into nine Planning Areas (PA's), each describing its unique character and development standards (see Figure B). Below is a brief description of each of the PA's.

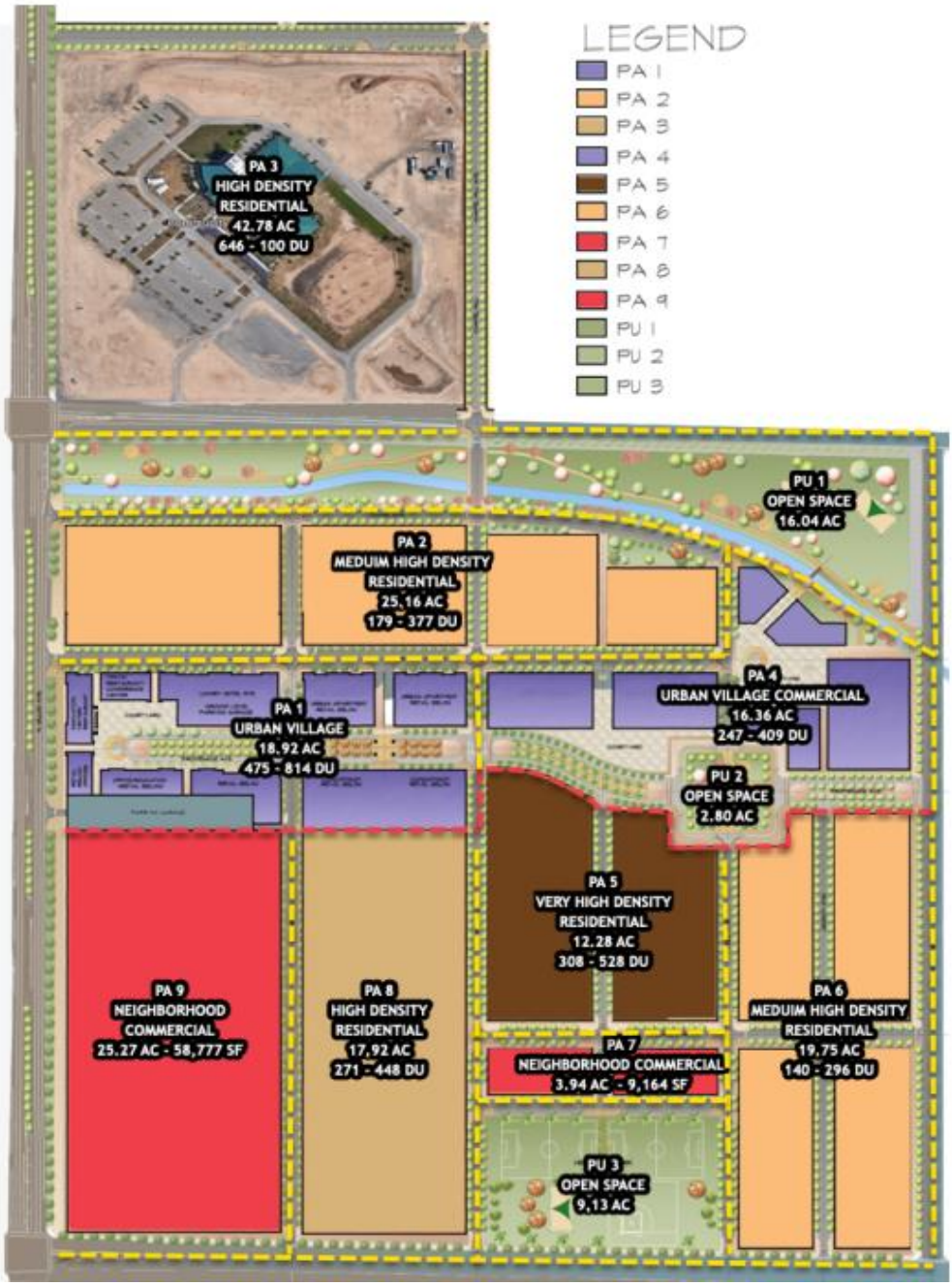


FIGURE B – PLANNING AREAS

- Planning Area 1

  PA1 is referred to as Main Street Promenade which proposes a mixed use village with a centralized private main street. This area includes ground floor commercial services and retail and parking, upper level residential and offices incorporating business innovation/incubation. A hotel is also accommodated within the Promenade. A unique feature that was included in the Heritage Grove Design Guidelines was a main street with a very wide median which could accommodate small commercial uses and open space opportunities. The applicant intends to develop the main street as a private street to permit road closures during special events.

  A property owner's association or similar will be formed to provide maintenance of this area and to augment City services such as security.

  PA1 is adjacent to Willow Avenue where a designated trail provides pedestrian connectivity north, south and eventually to the schools on the west. A transit stop is designated on Willow Avenue which is envisioned to carry passengers to and from Clovis as well as the region.

- Planning Area 2

  PA2 is a located north of the Main Street Promenade allowing Medium-High Density Residential. Single-Family homes, Planned Residential Developments, and Multiple-Family apartments with a density of 7.1 to 15 units per acre are anticipated for PA2.

- Planning Area 3

  PA3 is approximately 40 acres located at the north end of Focus Area #11 and is the home of Clovis Hills Church. It is anticipated that the church would remain on the site and continue to expand. The Master Plan would permit the continued growth of the church campus as well as permitting High Density Residential.

- Planning Area 4

  PA4 is envisioned as an Entertainment and Mixed Use District east of Main Street Promenade. This area would accommodate commercial services, professional offices, and residential uses. This area could also include a movie theater. There are two proposed large courtyards within PA4 and the two parks located north and south, which would make this area an ideal entertainment area.

- Planning Area 5

  PA5 is located near the center of Focus Area #11 and accommodates Very High Density Residential which would include three to four-story multiple-family development at 25.1 to 43 units per acre.

- Planning Area 6

  PA6 is located at the southeast corner of Focus Area #11 and is similar to PA2, allowing for Medium-High Density Residential.

- Planning Area 7

  PA7 is located in the south central portion of Focus Area #11. This area provides neighborhood serving commercial compatible with adjacent neighborhood areas and is located across from the proposed active park.

- Planning Area 8

  PA8 is located near the southwest corner of Focus Area #11. This area is designated for High Density Residential. This site is the east half of the 40 acres owned by International Church of Four Square Gospel. Multiple-Family in this area could accommodate a church campus with student/resident housing at a density of 15.1 to 25 units per acre.

- Planning Area 9

  PA9 includes 20 acres at the northeast corner of Behymer and Willow Avenues, just west of PA8. This area includes standards for a neighborhood commercial center. Uses in this center would likely include restaurants, retail and specialty grocery.

Each of the PA's, particularly those with gated and/or private streets, would be maintained through a Home Owner's Association (HOA) or property management. The HOA or property managers are valuable to both the community and the City as they are essential partners in maintenance and enforcement of the Master Plan guidelines and City Codes.

Open Space

Heritage Grove includes several large open space areas as well as pedestrian trails. Three large parks and a canal side trail are identified within Focus Area #11. The proposed Master Plan takes advantage of the locations of those parks by placing activities nearby. A linear park is located on the south side of International Avenue which is connected to a town square park via PA4, which includes open courtyards for entertainment.

A park is also designated on the north side of Behymer Avenue which could accommodate active sports fields. A beautiful residence currently sits on this site which over time could be incorporated into an open space, which would further enhance the historical nature of the area.

Architectural Theme

Heritage Grove pays respect to the culture and history of the area. The theme attempts to draw back from the lush refined landscape found in Loma Vista (southeast Clovis), utilizing a more minimalistic, rural landscape framework. The trails will utilize asphalt and decomposed

granite rather than concrete. Landscaping will honor the native grasses and trees of the foothills, where monuments will be constructed of simple materials such as concrete, stone, steel, and/or wood timbers.

The applicant's proposal suggests using timeless architecture such as Early California and Mission Revival, particularly within Main Street Promenade. These examples of architecture styles, however are not a requirement as each development will be processed through a site plan review assuring that the theme of Heritage Grove is maintained throughout the development period with flexibility for design creativity.

Annexation

The applicant is not requesting annexation at this time. The applicant's intent is to create a Master Plan and prezone the properties to accommodate annexation when the opportunity for development approaches. Timing of annexation could only occur when properties to the south begin to annex.

Property Owner Consent

Focus Area #11 consists of 16 properties owned by 10 separate owners. Mr. Penn began reaching out to all of the property owners in the fall of 2018 to discuss the Master Plan and to ask for support. Mr. Penn was able to meet with six property owners who expressed their support and also signed the letters of consent. Mr. Penn has had conversations with one other property owner by phone and email, however, has not been able to connect with three of the remaining property owners.

On February 26, 2019, staff sent letters to the four property owners to notify them that the City was in receipt of a prezone request and that they would be receiving a public hearing notice requesting the Council to initiate the prezone on their behalf. On March 4, 2019, staff sent a public hearing notice to the four property owners notifying them of the request to initiate the prezone at the March 18, 2019 meeting. Staff have not heard from the property owners upon finalization of this report.

On March 11, 2019, the Council approved an action to initiate the prezone on behalf of the four property owners. Mr. Penn promised to continue reaching out to the owners to provide them the opportunity to either consent to the prezone or voice their concerns.

Public Comments

As previously indicated, the applicant spent time visiting with several property owners within Focus Area #11, as well as some surrounding property owners. Additionally staff accompanied the applicant during outreach meetings with Clovis Unified School District, Clovis Community College and interested property owners. A public notice was mailed to property owners within 600 feet of the Project boundaries. Staff has not received comments upon finalization of this report.

California Environmental Quality Act

The Project is in substantial conformance with the environmental impact report performed for the General Plan. No major revisions will be required with the adopted Environmental Impact Report to accommodate the proposed project; therefore, subject to CEQA Sections 15162, no further environmental review is required for this project.

The City published notice of this public hearing in *The Business Journal* on Wednesday, April 3, 2019.

REASON FOR RECOMMENDATION

The General Plan requires a Master Plan for each Mixed Use Village within Heritage Grove. The applicant has developed a Master Plan for Focus Area #11, coordinating with most of the property owners and surrounding land owners. The proposed Master Plan is reflective of the vision of the Heritage Grove Design Guidelines, and is consistent with the General Plan. Staff therefore recommends that the Planning Commission approve the R2019-01, including the Master Plan as referenced as Attachment 2.

The findings to consider when making a decision on a prezone application include:

1. The proposed amendment is consistent with the goals, policies, and actions of the General Plan; and
2. The proposed amendment would not be detrimental to the public interest, health, safety, convenience, or general welfare of the City.
3. The parcel is physically suitable (including absence of physical constraints, access, and compatibility with adjoining land uses, and provision of utilities) for the requested zoning designations and anticipated land uses/projects.
4. The Planning Commission finds the Project in substantial conformance with the environmental analysis performed for the General Plan.

ACTIONS FOLLOWING APPROVAL

This item will be forwarded to the City Council for consideration.

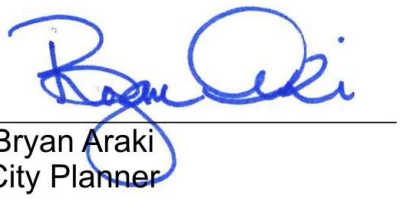
FISCAL IMPACT

None

NOTICE OF HEARING

Property owners within 600 feet notified:	47
Interested individuals notified:	10

Prepared by: Bryan Araki, City Planner



Reviewed by: Bryan Araki
City Planner

DRAFT
RESOLUTION 19-___

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CLOVIS RECOMMENDING APPROVAL TO PREZONE APPROXIMATELY 208 ACRES FROM THE COUNTY AE-20 ZONE DISTRICT TO VARIOUS ZONE DISTRICTS DESCRIBED IN A MASTER PLAN OVERLAY FOR PROPERTY LOCATED NORTH AND EAST OF BEYHYMER AND WILLOW AVENUES AND TO CONFIRM ENVIRONMENTAL FINDINGS

LEGAL DESCRIPTION:

See the attached Exhibit "One."

WHEREAS, Main Street Promenade, LLC, 2865 Herndon Avenue, Clovis, CA 93611, has applied for a Prezone R2019-01; and

WHEREAS, this is a request to approve a Master Plan to prezone approximately 208 acres of property located northeast of Behymer and Willow Avenues and to adopt development standards for Focus Area #11 of the General Plan, in the County of Fresno, California; and

WHEREAS, a public notice was sent out to area residents within 600 feet of said property boundaries ten days prior to said hearing; and

WHEREAS, the Rezoning is in keeping with the intent and purpose of the Zoning Ordinance; and

WHEREAS, after hearing evidence gathered by itself and on its behalf and after making the following findings, namely;

1. The proposed amendment is consistent with the goals, policies, and actions of the General Plan; and

2. The proposed amendment would not be detrimental to the public interest, health, safety, convenience, or general welfare of the City.

3. The parcel is physically suitable (including absence of physical constraints, access, compatibility with adjoining land uses, and provision of utilities) for the requested zoning designations and anticipated land uses/projects. (§ 2, Ord. 14-13, eff. October 8, 2014)

4. The Planning Commission finds the project in substantial conformance with the environmental analysis performed for the General Plan.

NOW, THEREFORE, BE IT RESOLVED that the Clovis Planning Commission does recommend approval of Rezone R2019-01.

* * * * * *

The foregoing resolution was approved by the Clovis Planning Commission at its regular meeting on April 18, 2019, upon a motion by Commissioner _____, seconded by Commissioner _____, and passed by the following vote, to wit:

ATTACHMENT 1

S:
S:
ABSENT:
ABSTAIN:

PLANNING COMMISSION RESOLUTION NO. 19-_____
DATED: April 8, 2019

_____
Amy Hatcher, Chair

ATTEST: _____
Dwight Kroll, AICP, Secretary

HERITAGE GROVE

CITY CENTER VILLAGES - NORTH & SOUTH

MASTER PLAN DOCUMENT

CITY OF CLOVIS

Master Plan Community Zone District Document

Master Site Plan Review

Adopted by the Clovis City Council on May XX, 2019

Ordinance 19-XX

Screencheck Draft April 9, 2019

ITEM 2 - R2019-01
ATTACHMENT 2

Acknowledgements

CITY COUNCIL

Mayor:
Bob Whalen

Mayor Pro Tem:
Drew Bessinger

Council Members
Lynne Ashbeck
Jose Flores
Vong Mouanoutoua

PLANNING COMMISSION

Chair:
Amy Hatcher

Chair Pro Tem:
Paul Hinkle

Planning Commissioners:
Alma Antuna
Brandon Bedsted
Mike Cunningham

CITY STAFF

Director of Planning & Development Services: Dwight Kroll, AICP

Assistant Planning Director: Renee Mathis
City Planner: Bryan Araki
City Engineer: Mike Harrison
City Manager: Luke Serpa
Assistant City Manager: John Holt
City Attorney: David Wolfe
Deputy City Planner: Orlando Ramirez
Public Utilities Director: Scott Redelfs
GIS Specialist: Stephanie Andersen

BROUSSARD ASSOCIATES

Principal:
Terry Broussard

Design Team:
Taylor Broussard
Carlos Ramirez
Holly Perry
Dusty Valero

STONE VALLEY COMMUNITIES

Design Team:
Manny Penn
Michael Saberi
Alissa Penn
Sameer Makada
Mohanraj Ramasamy

SPECIAL THANKS TO:

The Smittcamp Family
Clovis Hills Community Church
Valley Christian Center
Property owners within the City Center Villages

1. INTRODUCTION

1.1 Introduction
1.2 Site Description and Analysis
1.3 Relationship to Specific plan
1.4 Vision and Intent
1.5 Guiding Principles
1.6 General Plan Land Use Ownership
1.7 General Plan Land Use
1.8 Development Plan
1.9 Community Theme and Character

2. COMMUNITY DESIGN & DEVELOPMENT STANDARD

2.1 Gateway Diagram
2.2 Typical Community Gateway
2.3 Typical Corner Paseo Plan
2.4 Gateways
2.5 Circulation Plan
2.6 Promenade Avenue
2.7 East - West Street - Market & Village Avenue
2.8 North - South Street
2.9 Canal Street - Canal Avenue
2.10 Main Street Promenade Avenue
2.11 Willow Avenue - Promenade Frontage
2.12 Main Street Intersections
2.13 Willow Avenue
2.14 Thematic Street Section - International
2.15 West Behymer Avenue
2.16 Lighting Plan
2.17 Trees
2.18 Shrubs
2.19 Grasses, Groundcover, Vines

3. LAND USE DEVELOPMENT STANDARDS

3.1 Planning Areas
3.2 Planning Area 1- Main Street Promenade
3.4 Planning Area 2 - Medium High Density Residential
3.6 Planning Area 3 - High Density Residential
3.8 Planning Area 4 - Entertainment & Mixed Use District
3.10 Planning Area 5 - Very High Density Residential
3.12 Planning Area 6 - Medium High Density Residential
3.14 Planning Area 7 - Neighborhood Commercial Center
3.15 Planning Area 8 - High Density Residential
3.17 Planning Area 9 - Neighborhood Commercial Center
3.18 Public Area 1 - North Park
3.19 Public Area 2 - Town Square
3.20 Public Area 3 - Heritage Park

4. SAMPLE HOME TYPES

4.1 - 4.5 Paired-Z, Clusters , Rear Loaded, Mansion SFD
4.6 - 4.9 Townhomes, Multi-Family, Live/Work, Mixed Use

5. ARCHITECTURAL STYLES, DESIGN & GENERAL GUIDELINES

5.1 - 5.4 Early California, Mission Revival
5.5 - 5.14 SFD, Multi-Family, Retail Mixed Use Guidelines

6. ADMINISTRATION AND IMPLEMENTATION

6.1 - 6.5 Legal Descriptions: PA 1 - PA 9, PU 1 - PU 3)
6.6 Master Development Plan Adoption

INTRODUCTION

"The intent of nurturing communities where neighbors know each other, shop together, share the same schools and identify with an authentic sense of place."

INTRODUCTION

Heritage Grove is one of three Urban Centers identified by the Clovis General Plan designed to accommodate growth in a manner that is of high quality, fiscally sustainable and balanced. Each Urban Center will accommodate a population of approximately 30,000 citizens with the intent of nurturing communities where neighbors know each other, shop together, share the same schools and identify with an authentic sense of place.

The City Center Village North and South will offer a desirable environment for live, work, and play. Primary goals are to create a "Destination" focusing on a strong emphasis on residential neighborhoods organized around trails and parks. The "urban" trails and parks are fundamental to the overall pedestrian scale including the Main Street Promenade. Together, these concepts reinforce a walkable village environment and provide pedestrian connectivity to the community at large which is one of the unique qualities of Heritage Grove.

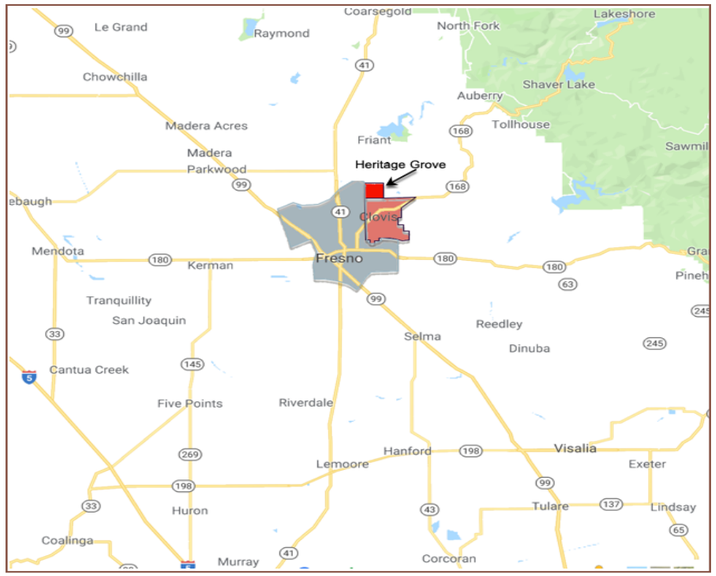
This Master Plan Document is intended to guide development in the Heritage Grove City Center Village North and South. This document will function in two ways:

1) as the officially adopted Master Planned Community (MPC) Zoning District for these sites, and

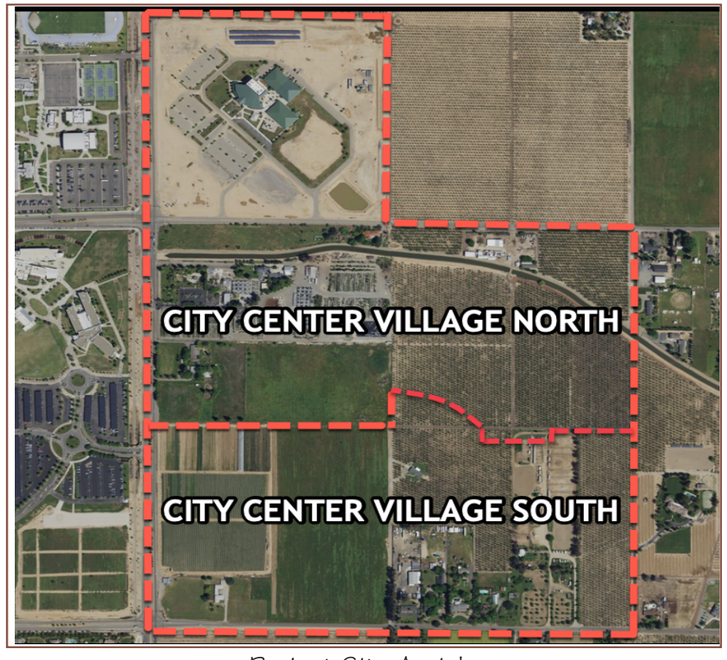
2) as the officially adopted Master Site Plan Review approval document for these sites.

The purpose and intent of this Master Plan Document is the following;

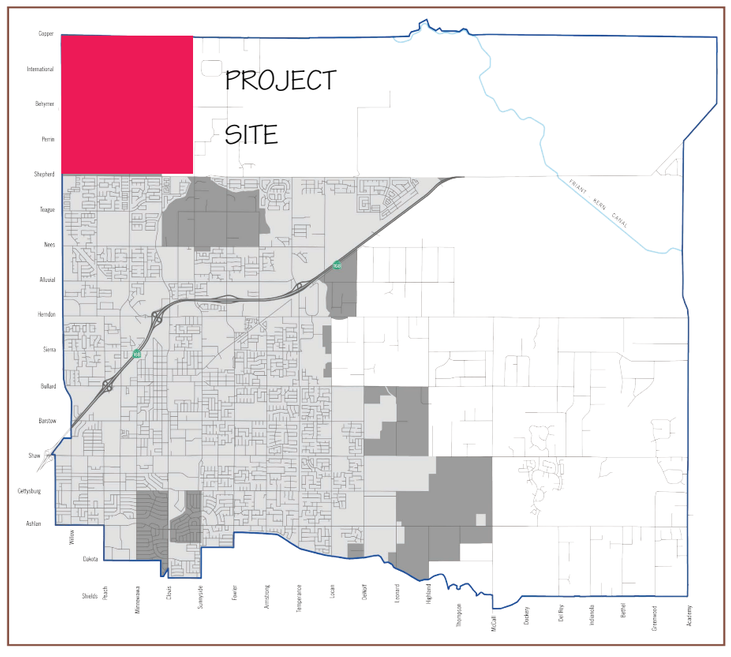
1. Identify an acceptable and desirable land uses.
2. Establish an overall theme and quality for the Heritage Grove mixed-use village.
3. Illustrate and direct the intended architectural landscape
4. Provide criteria and examples of expected design qualities and treatments to developers, designers and builders.
5. Refine and implement the general design objectives contained in the Heritage Grove Specific Plan.



Regional Vicinity



Project Site Aerials



Local Vicinity

Site Description and Analysis

Project Location

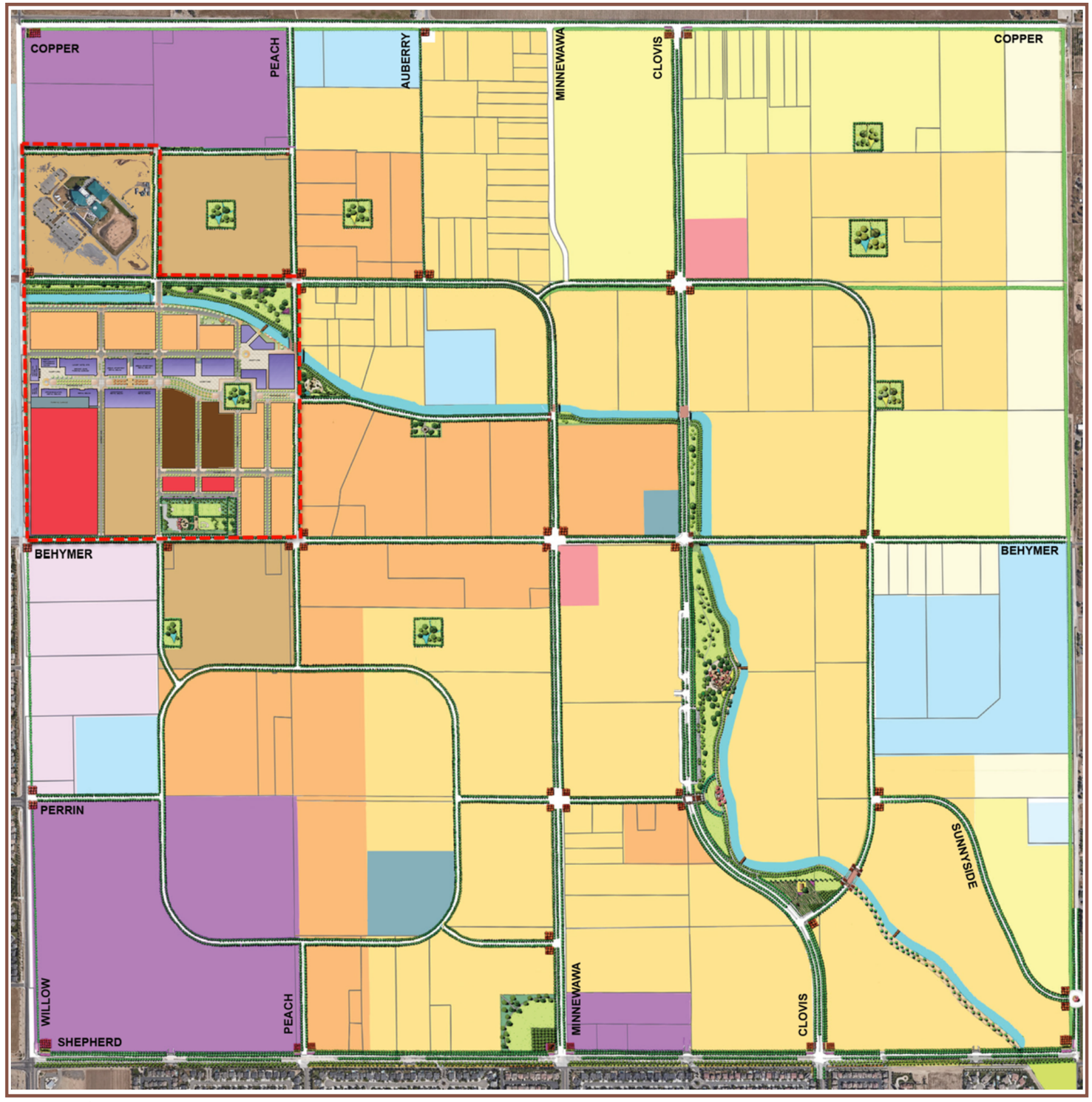
The Heritage Grove Specific Plan is located in the center of the San Joaquin Valley within the greater Fresno-Clovis Metropolitan Area, and are within the City of Clovis' sphere of influence. Clovis is known as the "Gateway to the Sierra" due to its proximity to the Sierra National Forest.

The Heritage Grove Specific Plan is bounded by Willow Avenue to the west, Sunnyside Avenue to the east, Copper Avenue to the north and the Shepherd Avenue to the south. The City Center Village North and South are within the Heritage Grove Specific Plan on the Northwest side bounded by Clovis Hills Community Churchto the north, Peach Avenue tothe east, Behymer Avenue to the south, and Willow Avenue to the west.

Existing Site Conditions/ Surrounding Land Use and Development

The Heritage Grove City Center Villages Plan is approximately 210 acres and containing residential, commercial, and mixed-use developments. The Heritage Grove City Center Villages are currently being used for agricultural and rural residential land as well as low and medium density residential developments. Clovis North Educational complex and Willow International Community College are located directly west of the project area in the nearby City of Fresno.

- City Center Village North is approximately 122 acres. It is bounded by Clovis Hills Community Church on the North, Peach Avenue on the east, Promenade Ave to the south, and Willow Avenue on the west. The Main Street Promenade (The Promenade) is the heart of the City Center North that connects pedestrian and the community together.
- City Center Village South is approximately 88 acres and located immediately South of City Center Village North. It is bounded by the Promenade Ave to the North, Peach Avenue on the east, Behymer Avenue on the south, and Willow Avenue on the west. City Center Village North and South are connected by a pedestrian, bike trail and multiple Village Streets.



Relationship to the Heritage Grove Specific Plan

The Heritage Grove City Center Villages are Master Planned communities within the adopted Heritage Grove Specific Plan. Heritage Grove is a 2,560-acre site comprised of multiple master planned communities: City Center Village North and South are two of the communities within the Specific Plan. The City Center Villages are the core of the Heritage Grove Specific Plan, offering the greatest concentration of shopping, entertainment and social uses. The Main Street Promenade (The Promenade) will serve as a focal point of the Heritage Grove Community by providing commercial, residential, and recreational spaces connected by bicycle and pedestrian oriented transportation networks.

Opportunities and Constraints

The Heritage Grove Specific Plan area is relatively free from development constraints. The land is predominantly flat, without significant natural hazards or environmental constraints. Utilities are planned and under construction for this area using Measure C funds. City Sewer and Water are on Willow Ave from Shepherd Ave to Copper Ave. Current uses are agricultural and rural residential.

The Heritage Grove City Center Villages are directly across from the Clovis Community College and Clovis North Educational Center, a 206-acre complex consisting of Clovis Community College and Clovis North Education Center.

The ownership of the City Center Village North and South consists of ten property owners and poses no development constraints to this area.

"Street designs are oriented to serve all modes of transportation including metropolitan rapid transit while the urban village can provide an environment where automobile ownership is no longer necessary."

Vision

The Heritage Grove City Center Village North and South are envisioned to be dynamic pedestrian-oriented districts with an intimately scaled mix of uses. The design and orientation of development will focus on the pedestrian, with amenities, such as outdoor dining, public art, and enhanced sidewalks. The Village Centers will feature ample open spaces like pocket parks, plazas and paseos. Streets will be calmed allowing for convenient and safe pedestrian linkages.

Each Village Center will contain a mix of commercial, office, service, entertainment, and residential uses. The City Center Village South will feature a "Heritage Park" with a historic structure and a neighborhood commercial center to the north. The City Center Village North will feature "The Promenade", a mixed-use of residential, commercial, retail, and restaurants that offer a variety ranging from cozy cafes and gastropubs to fine dining.

Intent

The City Center Village North and South are designed to be the social, retail, service and entertainment hubs within the Heritage Grove Specific Plan area.

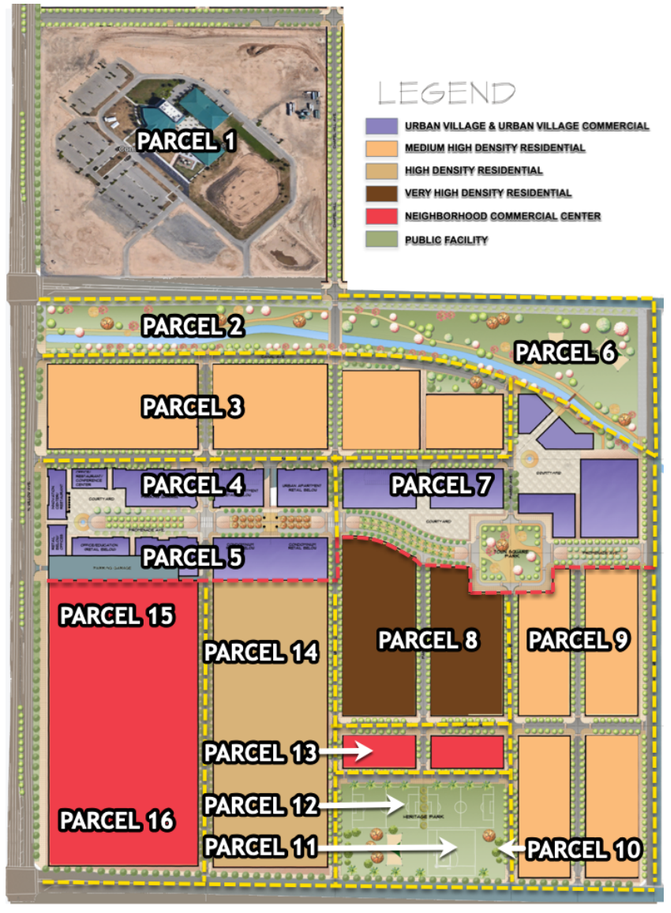
The City Center Village North is the heart of the Heritage Grove City Centers, which contains up to 2,668 residential units and approximately 82,059 square feet of retail.

The City Center Village South is envisioned to contain up to 1,275 residential units and approximately 67,941 square feet of retail. It is intended to be anchored by and integrated with the Valley Christian Center.

The following principles were adopted by the Clovis City Council to guide the development of the Heritage Grove Specific Plan and will be applied toward this Master Plan Document. These principles build upon and expand the desire to develop an environmentally sensitive and economically sound community.

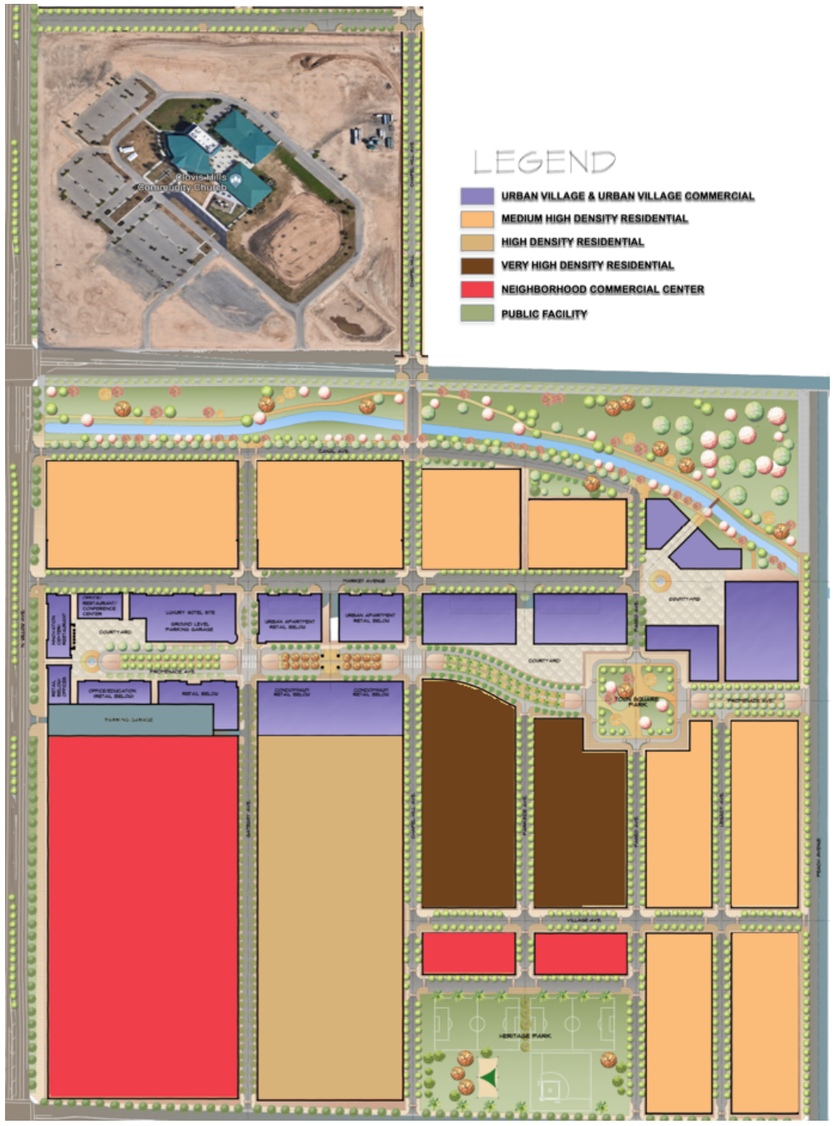
- GENERAL PLAN CONSISTENCY — Base the future development and use of the City Center Villages on the concepts and vision of the Heritage Grove Specific Plan and the City's General Plan.
- QUALITY OF LIFE—Design the City Center Villages to foster family values and maintain the small-town feel of Clovis by promoting a lifestyle that is socially and culturally enriching, aesthetically pleasing, and environmentally responsible.
- COMMUNITY DESIGN—Design the City Center Villages as a series of diverse residential neighborhoods planned around compact pedestrian-oriented mixed-use cores and accompanied by a full mix of employment opportunities, recreational activities, shops, and services. Ensure quality products and attention to details for all development. Integrate existing watercourses, irrigation canals, and drainage systems and plans into the community fabric.
- INTEGRATION—Plan for land uses and supporting infrastructure that maintain and enhance, rather than detract from, existing educational facilities, agricultural operations, and surrounding uses. Ensure that supporting infrastructure systems sufficiently sustain the land use plan and are well integrated with adjacent urban uses. Ensure that the City Center Villages are self-sufficient while not detracting from the viability and focus of Old Town Clovis. Emphasize the Main Street Promenade as a major cornerstone for the communities.
- SERVICE PROVISION—Approve development predicated on the ability to provide adequate water supply, sewer and storm water infrastructure, public services, and transportation system connections in a comprehensive and timely manner. Accommodate a range of community services and facilities to serve the needs of the citizens of the City Center Villages.
- ECONOMIC VIABILITY—Ensure the integrity of the Master Plan and safeguard it's long-term stability and continuity by assuring an adequate economic return for the project. Allow a mix of commercial uses that complement those uses found in Old Town Clovis and along Shaw Avenue.

The Heritage Grove City Center Village North and South includes 16 parcels and 10 separate owners. The City Center Villages support a wide range of commercial uses, including retail sales and services, Residential professional and general offices, and institutional uses as stand-alone uses or in a mixed use format. Open space amenities are also distributed throughout the two Villages. Densities range from Medium High Density" (at 7.1 to 15 units per acre) to Urban Village Center (at 25.1 to 43 units per acre).



Land Use	APN #	Property Owner	Address/Legal Description
City Center Village North			
Parcel			
1	580-050-03S	Clovis Hills Community Church of Clovis	10590 N Willow Ave Clovis, CA 93619
2	580-71-26	Lewellen Robert Henry Pearl E Trust	3237 E International Ave Clovis, CA 93619
3	580-071-10S	De Prima,John C & Nancy Tr	10428 N Willow Ave Clovis, CA 93619
4	580-071-22	Main Street Promenade Llc	10326 N Willow Ave Clovis, CA 93619
5	580-071-24	Main Street Promenade Llc	10272 N Willow Ave Clovis, CA 93619
6	580-071-20	Smittcamp,William S & Linda L Tr	3291 E International Ave Clovis, CA 93619
7	580-071-03	Smittcamp,William S & Linda L Tr	28.40 Ac In Par 3 P/M 6882 46/46-48 Rs 46/50
City Center Village South			
Parcel			
8*	580-071-16	Smittcamp,William S & Linda L Tr	3222 E Behymer Ave Clovis, CA 93619
9*	580-071-04	Smittcamp,William S & Linda L Tr	3406 E Behymer Ave Clovis, CA 93619
10	580-071-05	George,Stanley C & Gentry,Rosella D	3354 E Behymer Ave Clovis, CA 93619
11	580-071-18	Dimar - Greg Baker (gbaker@aocadjusters.com)	3310 E Behymer Ave Clovis, CA 93619
12	580-071-17	Hurley,Randall G & Marsha A/ Hurley,Jason M & Lori M Tr	3280 E Behymer Ave Clovis, CA 93619
13	580-071-19	California Dev Co Llc	3250 E Behymer Ave Clovis, CA 93619
14	580-071-13	International Church Of The Four Square Gospel	22.02 Ac In E1/2 Of Sw1/4 Of Sw1/4 Sec 18 T12r21
15	580-071-30	International Church Of The Four Square Gospel	16.86 Ac In Sw1/4 Of Sw1/4 Sec 18 T12r21
16	580-071-28	International Church Of The Four Square Gospel	5.51 Ac In Sw1/4 Of Sw1/4 Sec 18 T12r21

* small portion belongs to Village North



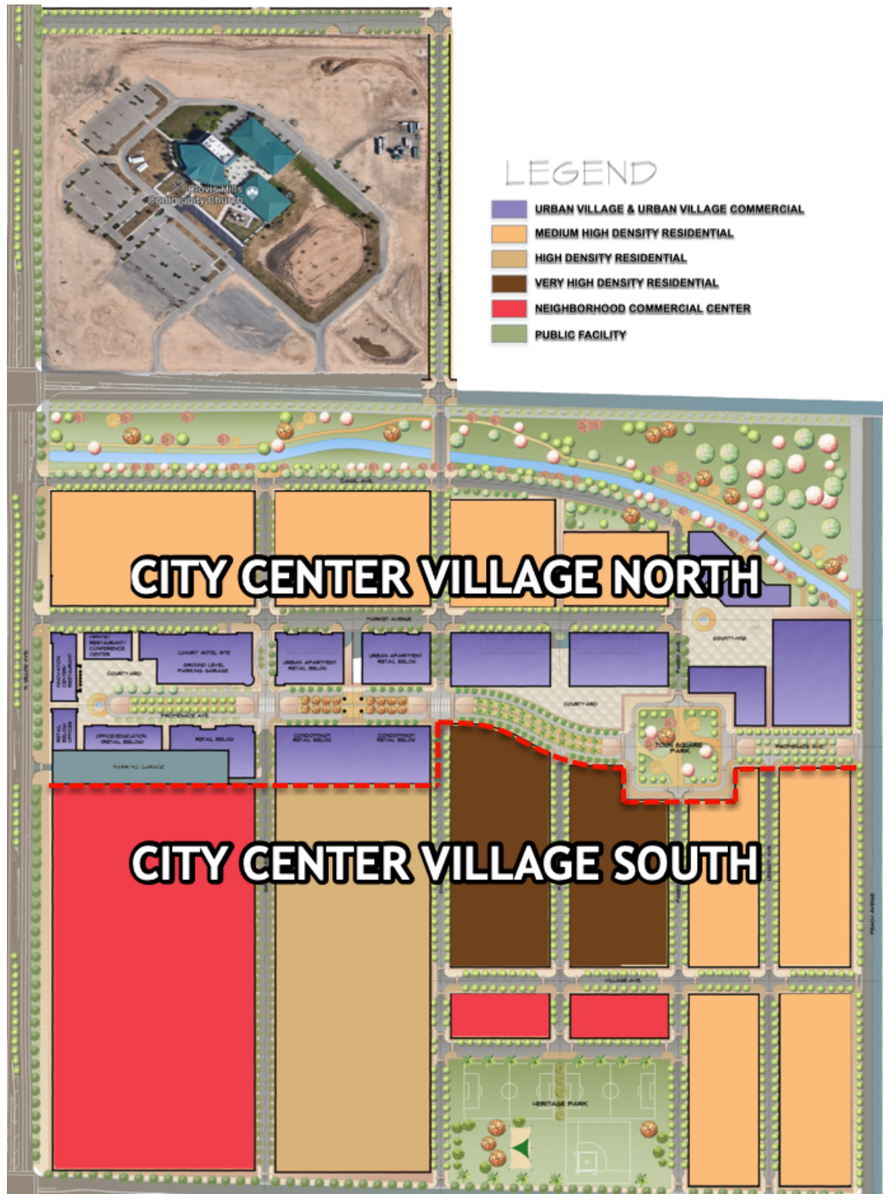
General Plan Designations

The Heritage Grove City Center Village North and South are composed of a mixture of commercial, office, service, entertainment and residential uses. Open space amenities are also distributed throughout the two Master Plans. Residential densities range from "Medium High Density" (at 7.1 to 15 units per acre) to Very High Density (at 25.1 to 43 units per acre).

This document addresses the directives of the various General Plan land use designations through individual "Planning Areas" (PAs).

North and South Combined

Land Use	Density Range	Gross Acres	Percentage	Min. Units	Max Units	Max. non-residential sq. ft.
Residential						
Medium High	7.1 - 15.0	44.91	21%	319	674	-
High (Church Campus)	15.1 - 25.0	60.7	29%	917	1,518	-
Very High	25.1 - 43.0	12.28	6%	308	528	-
Urban Village Commercial	15.1 - 25.0	16.36	8%	247	409	38,052
Urban Village	25.1 - 43.0	18.92	9%	475	814	44,007
Residential Subtotal		153.17	73%	2,266	3,942	
Non-Residential						
Neighborhood Commercial		29.21	14%			67,941
Public Areas/Open Space		27.97	13%			
Non-Residential Subtotal		57.18	27%			
Total		210.35	100%	2,266	3,942	150,000



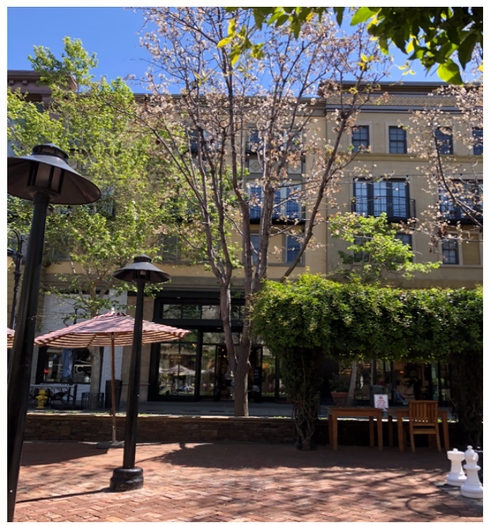
Conceptual Illustrative Site Plan

	Density Range	Gross Acres	Percentage	Min. Units	Max Units	Max. non-residential sq. ft.
North						
Residential						
Medium High	7.1 - 15.0	25.16	12%	179	377	-
High (Church Campus)	15.1 - 25.0	42.78	20%	646	1,070	-
Very High	25.1 - 43.0					
Urban Village Commercial	15.1 - 25	16.36	8%	247	409	-
Urban Village	25.1 - 43	18.92	9%	475	814	-
Residential Subtotal		103.22	49%	1,547	2,669	
Non-Residential						
Neighborhood Commercial *						-
Urban Village Commercial *						38,052
Urban Village *						44,007
Public Areas/Open Space		18.84	9%			
Non-Residential Subtotal		18.84	9%			82,059
Totals-North Area		122.06	58%	1,547	2,669	82,059
South						
Residential						
Medium High	7.1 - 15.0	19.75	9%	140	296	
High (Church Campus)	15.1 - 25.0	17.92	9%	271	448	-
Very High	25.1 - 43.0	12.28	6%	308	528	-
Urban Village Commercial	7.1 - 25				-	-
Urban Village	25.1 - 43				-	-
Residential Subtotal		49.95	24%	719	1,272	
Non-Residential						
Neighborhood Commercial *		29.21	14%			67,941
Urban Village Commercial *					-	-
Urban Village *					-	-
Public Areas/Open Space		9.13	4%			
Non-Residential Subtotal		38.34	18%			67,941
Totals-South Area		88.29	42%	719	1,272	67,941
Grand Total		210.35	100%	2,266	3,942	150,000

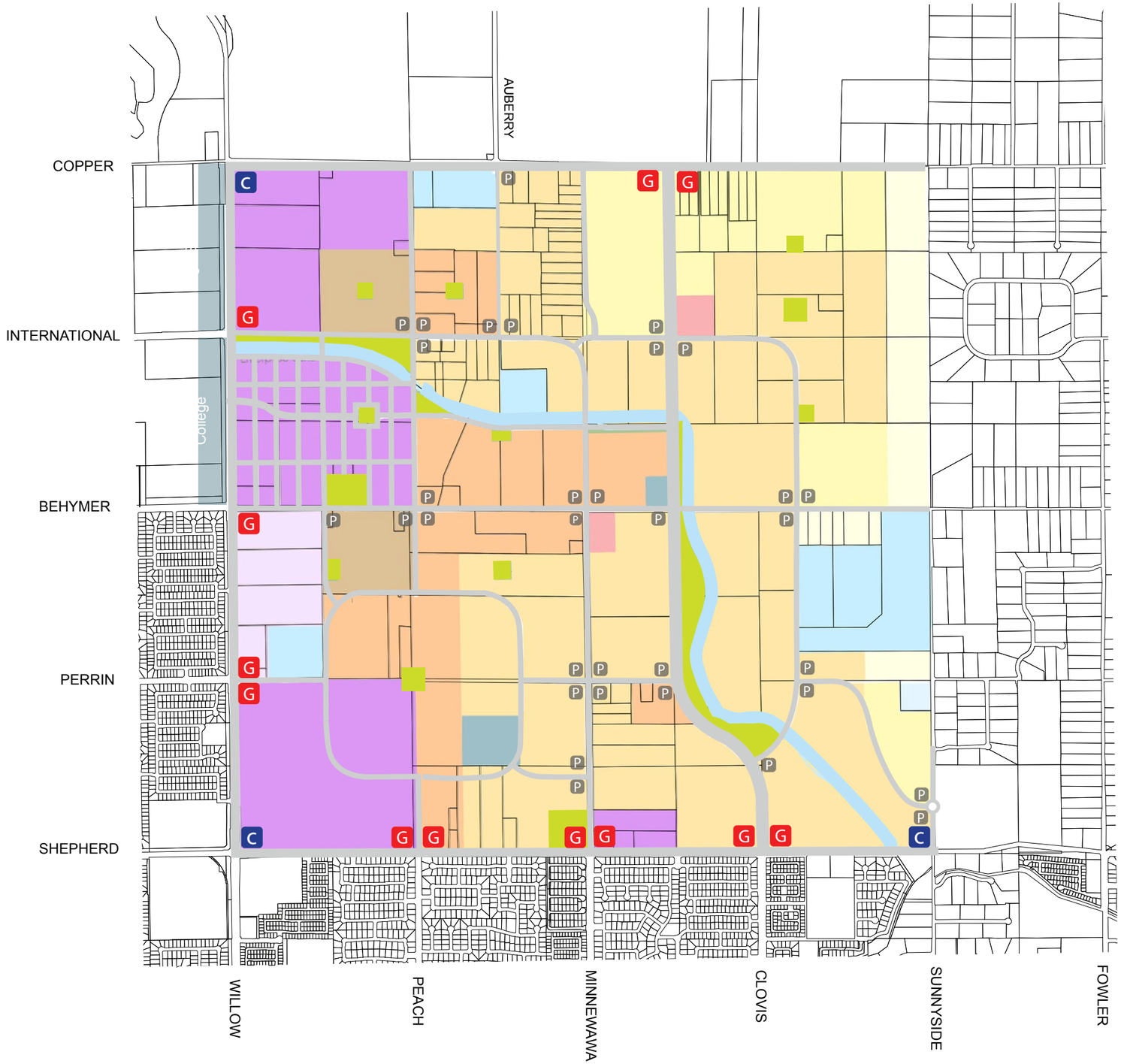
* Area calculated in residential land use category

Design and planning objectives are to logically blend diverse live, work and play components with a comprehensive self-sustaining village design that offers opportunities for resident...

The theme of the Heritage Grove City Center Villages reflects a variety of traditional architecture styles - including Santa Barbara, Formal Spanish, Early California or Monterey inspired architecture. The overall tone will be set by a Santa Barbara architectural theme, complemented by a careful blend of Formal Spanish and Mission Revival styles. Together, these styles will provide richness and variety for residential neighborhoods, the Main Street Promenade, the mixed-use residential and commercial center. Santa Barbara- themed design elements, along with the Heritage Grove logo, should be incorporated into public buildings and spaces, including signage, street furniture, lighting, and walkway treatments. For example, the logo can be combined with other appropriately-styled decorative pavers within walkways and street crossings. Street and building lighting, benches, trash receptacles, mail boxes, benches, etc. should be treated similarly to provide a pleasant pedestrian experience. Please refer to the "Architectural Styles" section of this document for more information about the specific characteristics of these styles.



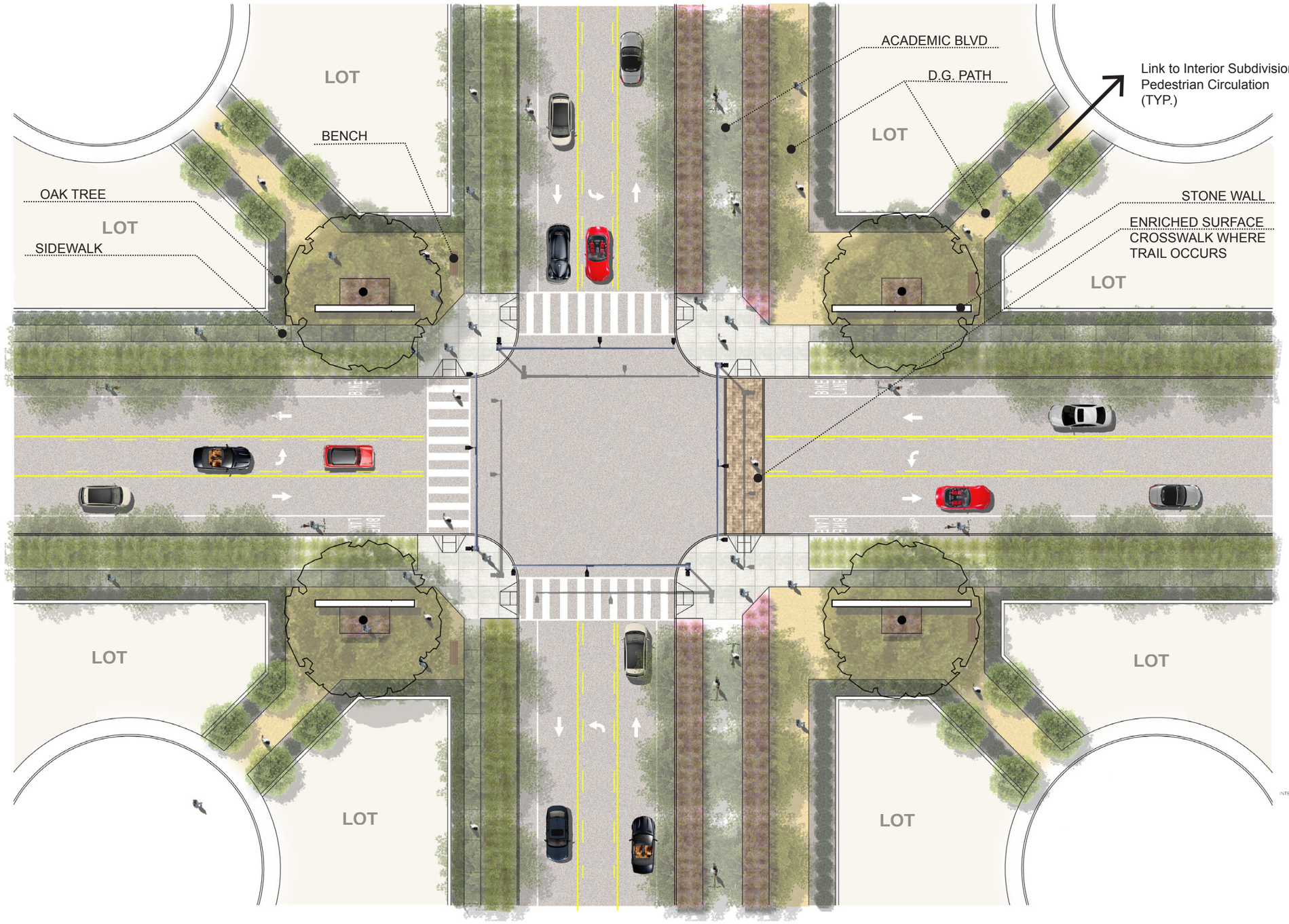
COMMUNITY DESIGN DEVELOPMENT STANDARDS

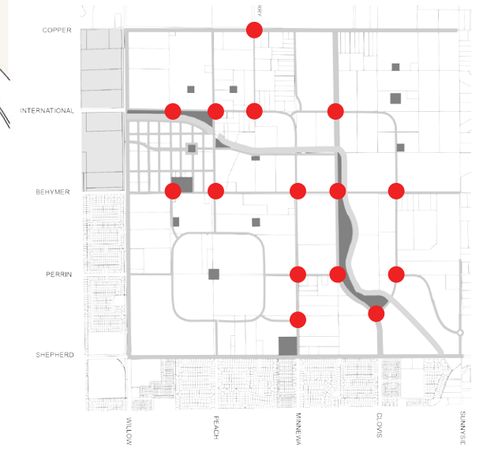


GATEWAY PLAN

- TYPICAL COMMUNITY GATEWAY *(TYP.)* **See 2.20 - 2.21**
- CORNER GATEWAY TREATMENT *(TYP.)* **See 2.22 - 2.23**
- COMMUNITY CORNER PASEO *(TYP.)* **See 2.24- 2.25**
- OPEN SPACE
- SCHOOLS
- CANAL

HERITAGE GROVE





Heritage Grove City Center Villages
North & South

LANDSCAPE FRAMEWORK Typical Corner Paseo Plan 2.3

Gateways

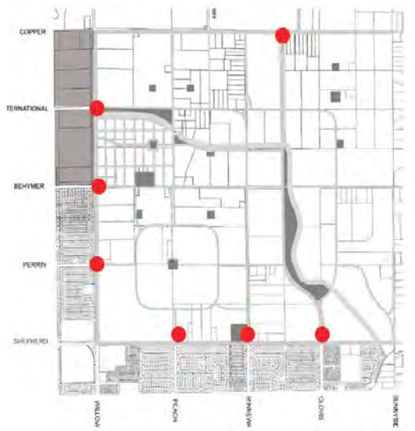
The Heritage Grove City Center Villages features one gateway at the intersections along International Avenue and Willow Avenue. In addition, the Main Street Promenade and the Entertainment District will features unique monument entries that will be marked by stone wall with community signage. These entrances will give residents and visitors a sense of place upon arrival.

Trails

Pedestrian and bicycle trails will run throughout the. City Center Villages features an urban trail that runs through the Avenue center of Promenade and pedestrian trails on Willow Avenue, Canal Avenue, and Academic Boulevard. Promenade Avenue and Academic Boulevard also feature separate bike paths. These trails are envisioned to provide pedestrian and bicycle access throughout the village and to near by academic facilities.

Typical Gateway

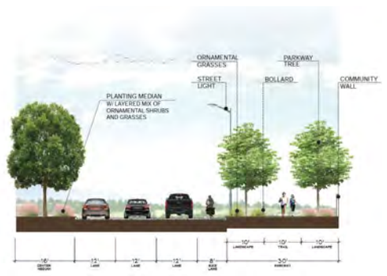
Gateway Sites



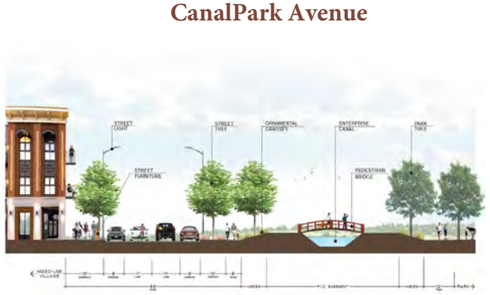
Promenade Avenue

Academic Boulevard

Willow Avenue

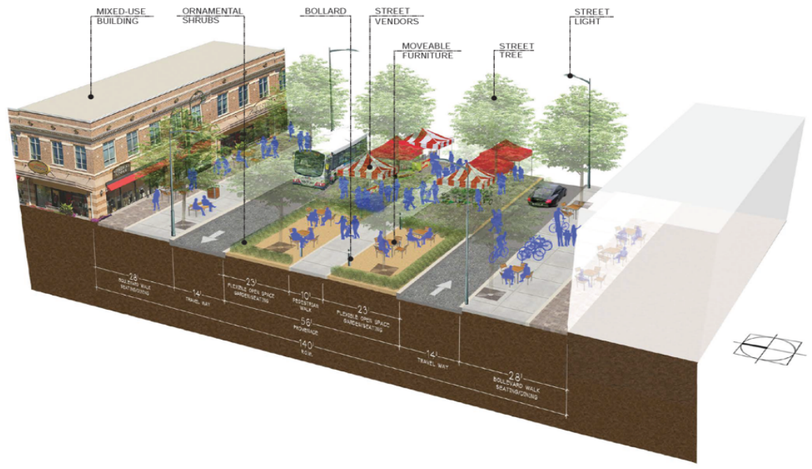


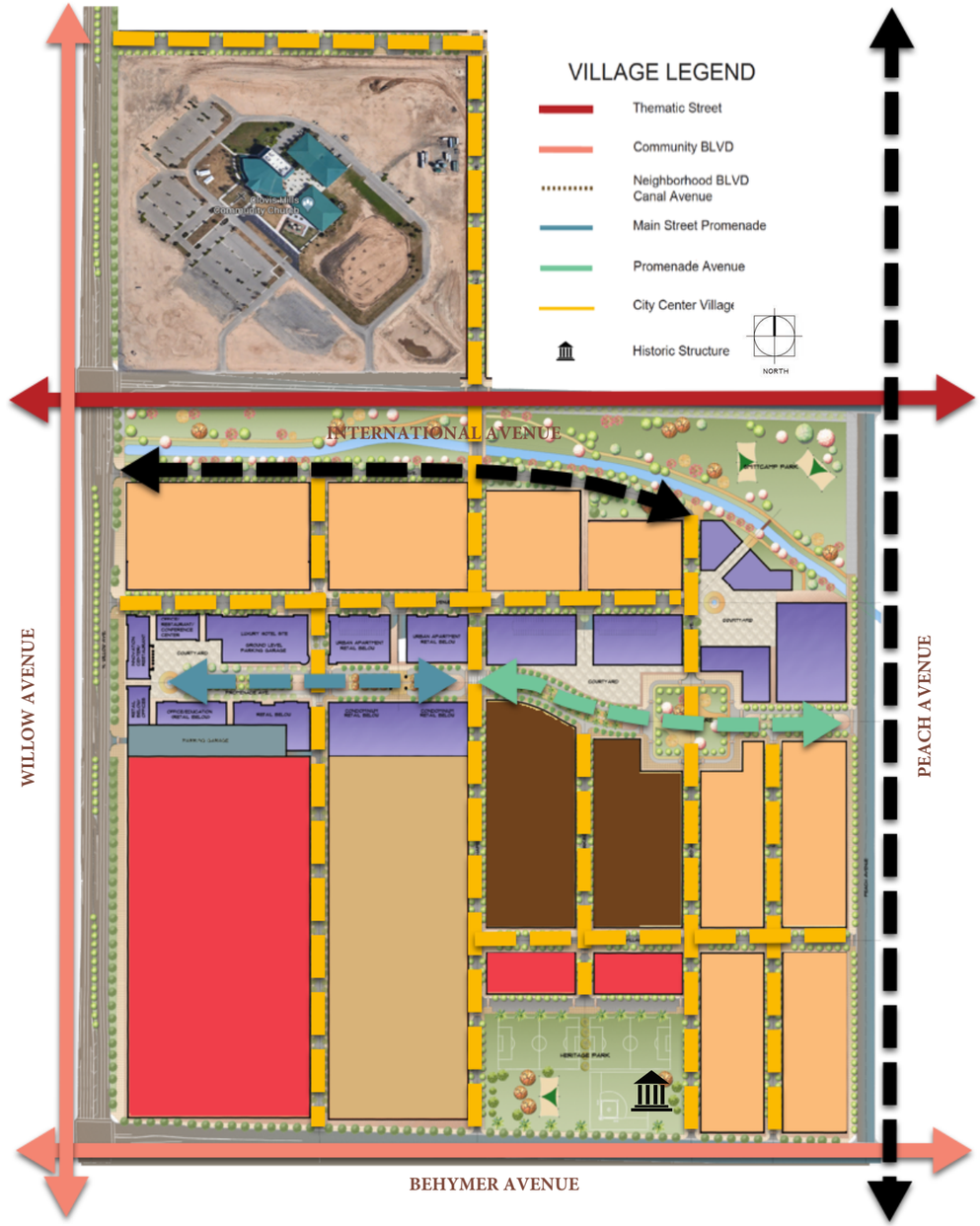
CanalPark Avenue



Circulation Plan

The circulation plan for the City Center Villages will be made up of five street types: Promenade Avenue including Main Street Promenade, Thematic Street, Community Boulevards, Neighborhood Boulevards including Canal Avenue, and Village Streets. These roadways are unique to the project and are intended to enhance connectivity for pedestrians, bicycles and cars alike. All roads have a sidewalk between 15 ft (with store-front setback) and 28 feet. Most have designated bicycle lanes, an on-street parking provision, and a single, low speed traveling lane in each direction. North – South streets offer two lanes in each direction to create a pleasant flow of traffic while the main street, promenade, and Thematic street offer protected separate bicycle and pedestrian trails.





Key Map

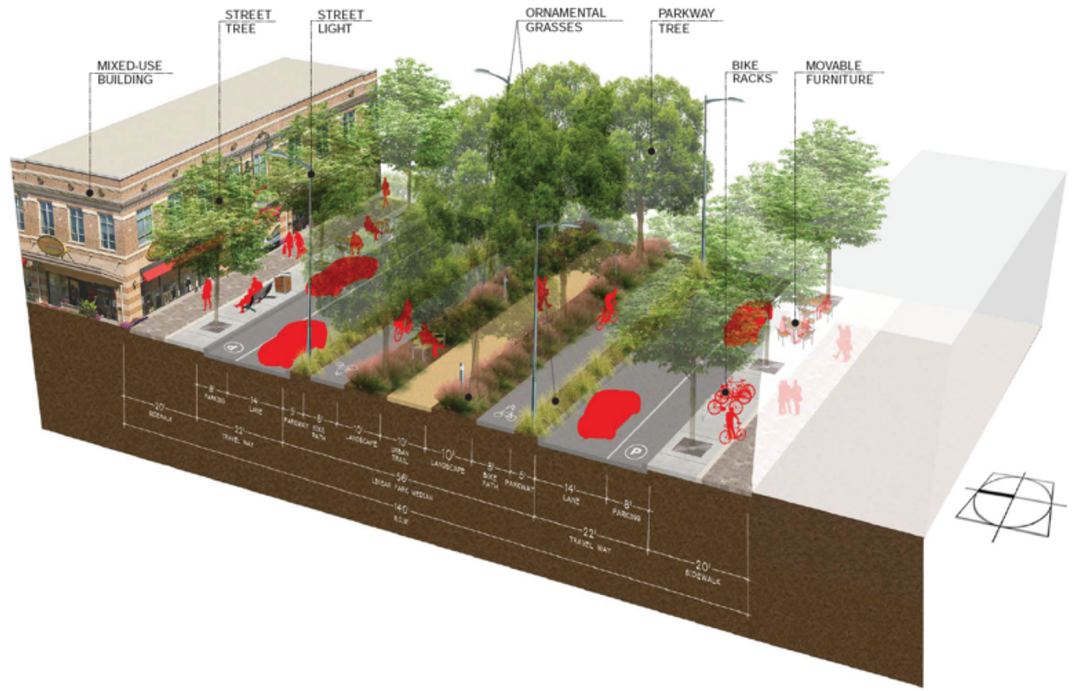
Promenade Avenue

Promenade Avenue is designed with a continuous "urban trail" and designated bike paths west to the "promenade" and east to the Town Square Park reinforcing the pedestrian and bike connectivity throughout the community.

1. Encourages walking and cycling in to the village core.

2. Provides additional shaded open space that minimizes the "heat island" effect.

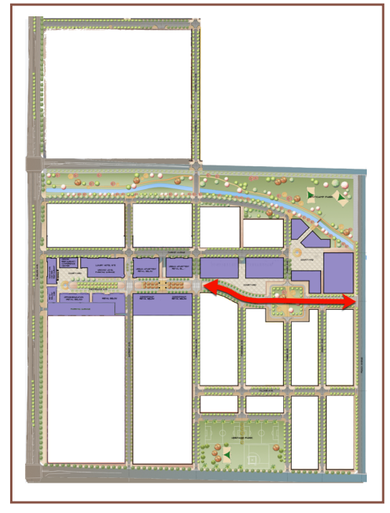
3. Creates spaces for social interaction which reinforces community and a unique sense of place.



	Sidewalk 20'	Linear Park Median 56'
LANDSCAPE		
Tree Palette* *Tree Type(s) selected shall be consistently planted	Laurus nobilis 'Saratoga', Pistacia chinensis, Zelkova serrata	See Heritage Grove Design Guideline Tree Location Matrix
Tree Pattern/ Spacing	15' min., 25' max.	15' min., 25' max.
Shrub Palette* *Shrub Type(s) selected shall be consistently planted"	Tree grates or boxwood	See Heritage Grove Design Guideline Shrub Location Matrix
LIGHTING		
Light Model with banner pole option	Heritage Grove Luminaries and pole-LCN series by U.S. Architectural Inc. or equivalent. Double head.	Heritage Grove Luminaries and pole-LCN series by U.S. Architectural Inc. or equivalent. Double head.
Placement and spacing	To be determined at final site plan review	To be determined at final site plan review

STREETSCAPE FURNITURE/OTHER	
Furnishing(s)	6' 'Reading' Bench (#RE26) by Keystone Ridge Designs or equivalent ; 'Reading' Litt er Round Receptacle by Keystone Ridge Designs or equivalent, size per City of Clovis standards. Color-bronze or equivalent.
Street Sign Post	Per site plan review
Other	All other street furniture, such as newsracks, drinking fountains, bollards and bike racks, shall complement the color and design of other features.

Key Map



East - West Street Section

Market and Village Avenue

The unique quality of this street is the reverse angle parking. This parking geometry is not new and has been successfully implemented nationwide.

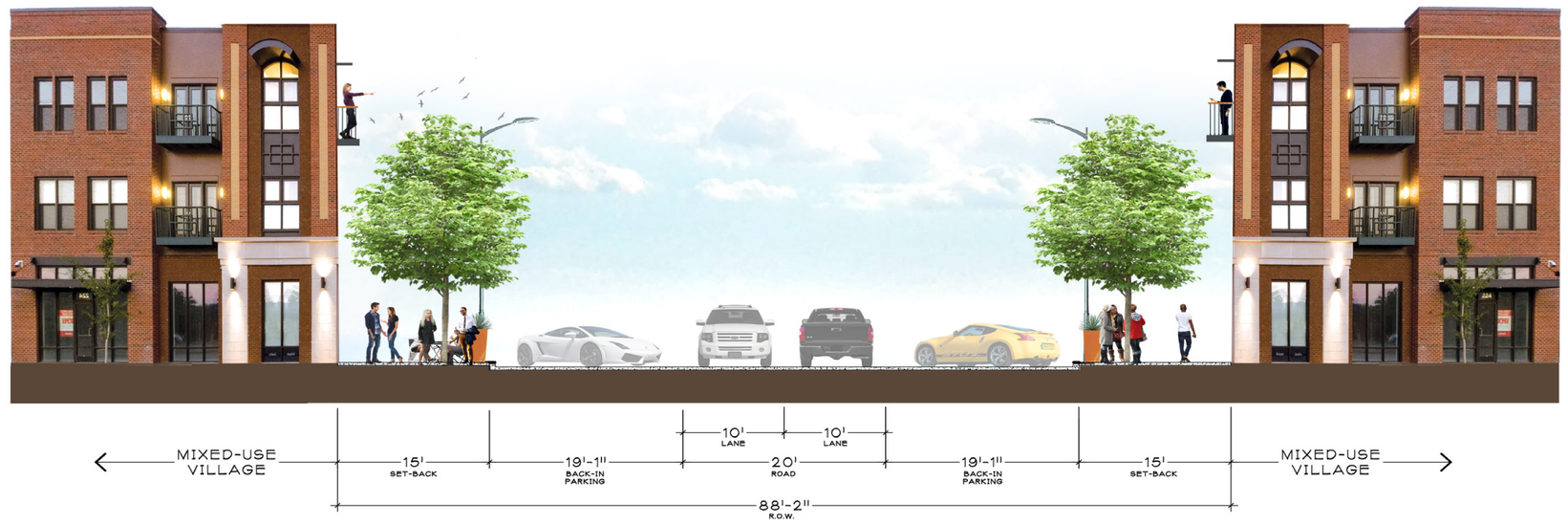
The advantages are:

1. Less difficult than entering a parallel parking space.

2. Improves safety; removes the difficulty of backing out into traffic.

3. Provides for better loading and unloading from sidewalks.

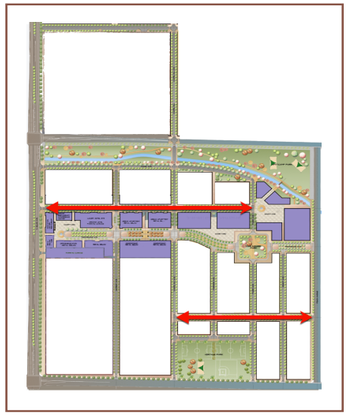
4. Safer pedestrian access in and out of vehicles.



	Set-Back 15'
LANDSCAPE	
Tree Palette* *Tree Type(s) selected shall be consistently planted	Laurus nobilis 'Saratoga', Pistacia chinensis, Zelkova serrata
Tree Pattern/ Spacing	10' min., 20' max.
Shrub Palette* *Shrub Type(s) selected shall be consistently planted"	Tree grates or boxwood
LIGHTING	
Light Model with banner pole option	Heritage Grove Luminaries and pole-LCN series by U.S. Architectural Inc. or equivalent. Double head.
Placement and spacing	To be determined at final site plan review

STREETSCAPE FURNITURE/OTHER	
Furnishing(s)	6' 'Reading' Bench (#RE26) by Keystone Ridge Designs or equivalent ; 'Reading' Litt er Round Receptacle by Keystone Ridge Designs or equivalent, size per City of Clovis standards. Color-bronze or equivalent.
Street Sign Post	Per site plan review
Other	All other street furniture, such as newsracks, drinking fountains, bollards and bike racks, shall complement the color and design of other features.

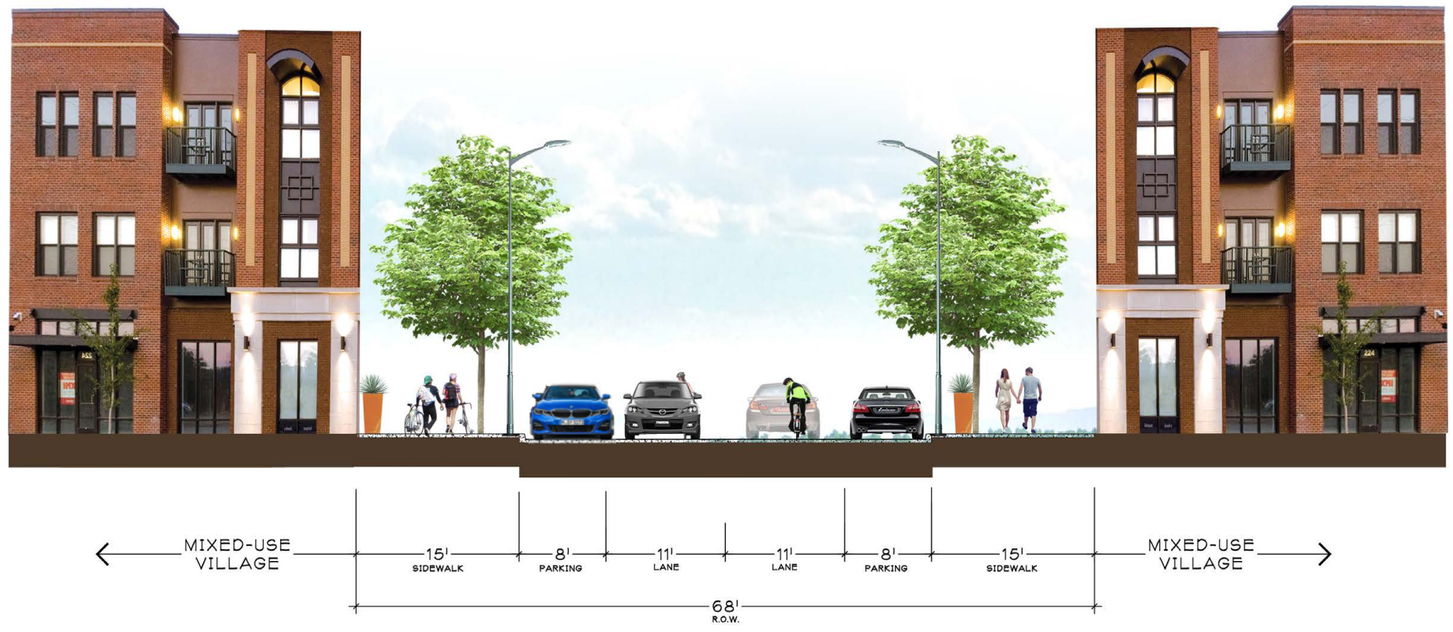
Key Map



North - South Street Section

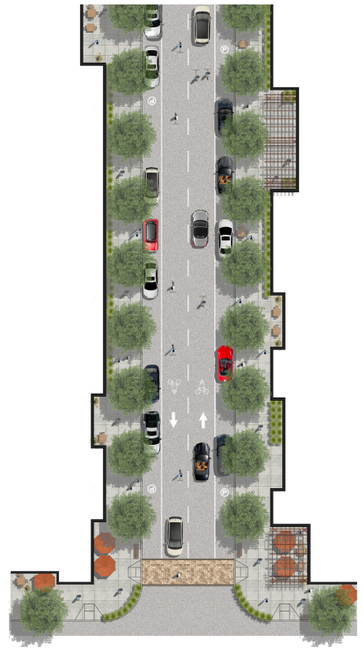
Street Name:

1. Gateway Avenue
2. Chapel Hill Avenue
3. Parkside Avenue
4. Trailside Avenue
5. Tradition Avenue



	Sidewalk 15'
LANDSCAPE	
Tree Palette* *Tree Type(s) selected shall be consistently planted	Laurus nobilis 'Saratoga', Pistacia chinensis, Zelkova serrata
Tree Pattern/ Spacing	10' min., 20' max.
Shrub Palette* *Shrub Type(s) selected shall be consistently planted"	Tree grates or boxwood
LIGHTING	
Light Model with banner pole option	Heritage Grove Luminaries and pole-LCN series by U.S. Architectural Inc. or equivalent. Double head.
Placement and spacing	To be determined at final site plan review

STREETSCAPE FURNITURE/OTHER	
Furnishing(s)	6' 'Reading' Bench (#RE26) by Keystone Ridge Designs or equivalent ; 'Reading' Litt er Round Receptacle by Keystone Ridge Designs or equivalent, size per City of Clovis standards. Color-bronze or equivalent.
Street Sign Post	Per site plan review
Other	All other street furniture, such as newsracks, drinking fountains, bollards and bike racks, shall complement the color and design of other features.



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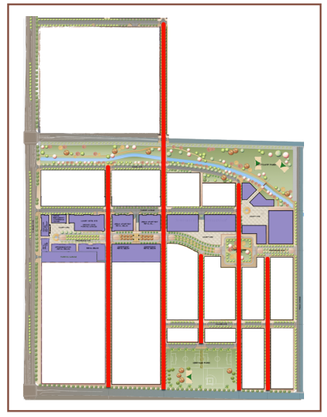
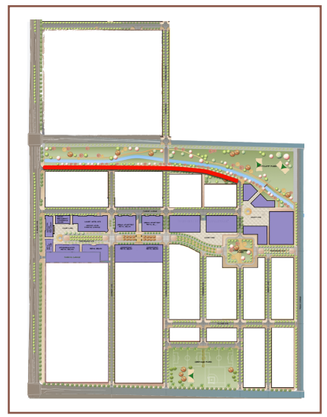


CanalPark Avenue

	Sidewalk 15'	FID Park and Trail
LANDSCAPE		
Tree Palette* *Tree Type(s) selected shall be consistently planted	Laurus nobilis 'Saratoga', Pistacia chinensis, Zelkova serrata	See Heritage Grove Design Guideline Tree Location Matrix
Tree Pattern/ Spacing	15' min., 25' max.	15' min., 25' max.
Shrub Palette* *Shrub Type(s) selected shall be consistently planted"	Tree grates or boxwood	See Heritage Grove Design Guideline Shrub Location Matrix
LIGHTING		
Light Model with banner pole option	Heritage Grove Luminaries and pole-LCN series by U.S. Architectural Inc. or equivalent. Double head.	Heritage Grove Luminaries and pole-LCN series by U.S. Architectural Inc. or equivalent. Double head.
Placement and spacing	To be determined at final site plan review	To be determined at final site plan review

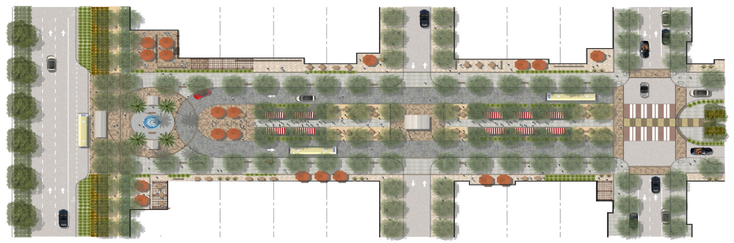
STREETSCAPE FURNITURE/OTHER	
Furnishing(s)	6' 'Reading' Bench (#RE26) by Keystone Ridge Designs or equivalent ; 'Reading' Litt er Round Receptacle by Keystone Ridge Designs or equivalent, size per City of Clovis standards. Color-bronze or equivalent.
Street Sign Post	Per site plan review
Other	All other street furniture, such as newsracks, drinking fountains, bollards and bike racks, shall complement the color and design of other features.

Key Map



Main Street Promenade Avenue

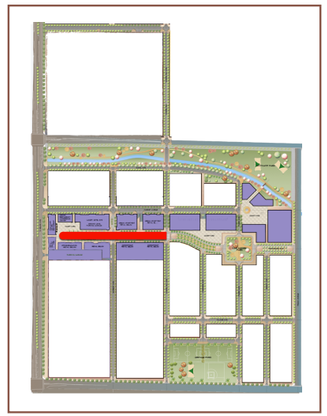
The main street promenade is the terminus and transportation hub drop off for the linear park median and a window in to the Village from Willow avenue. The median island transitions in to an urban space characterized by food/retail street vendors, information pavilion and outdoor dining. The street could be closed off and turned into a plaza for a farmer's markets or other community events and festivals.



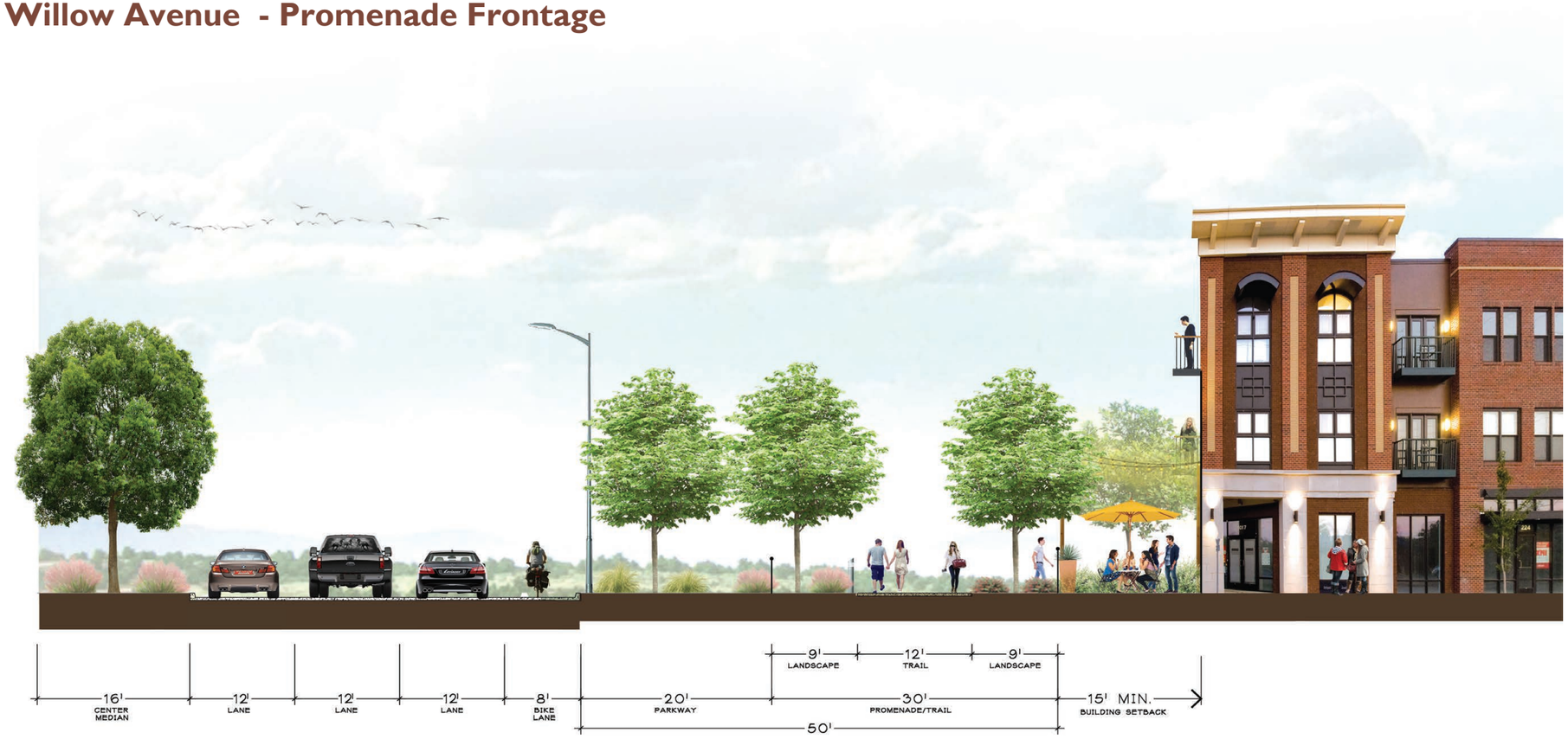
	Boulevard Walk Seating/Dining 28'	Promenade 56'
LANDSCAPE		
Tree Palette* *Tree Type(s) selected shall be consistently planted	Laurus nobilis 'Saratoga', Pistacia chinensis, Zelkova serrata	See Heritage Grove Design Guideline Tree Location Matrix
Tree Pattern/ Spacing	15' min., 25' max.	15' min., 30' max.
Shrub Palette* *Shrub Type(s) selected shall be consistently planted"	Tree grates or boxwood	See Heritage Grove Design Guideline Shrub Location Matrix
LIGHTING		
Light Model with banner pole option	Heritage Grove Luminaries and pole-LCN series by U.S. Architectural Inc. or equivalent. Double head.	Heritage Grove Luminaries and pole-LCN series by U.S. Architectural Inc. or equivalent. Double head.
Placement and spacing	To be determined at final site plan review	To be determined at final site plan review

STREETSCAPE FURNITURE/OTHER	
Furnishing(s)	6' 'Reading' Bench (#RE26) by Keystone Ridge Designs or equivalent ; 'Reading' Litter Round Receptacle by Keystone Ridge Designs or equivalent, size per City of Clovis standards. Color-bronze or equivalent.
Street Sign Post	Per site plan review
Other	All other street furniture, such as newsracks, drinking fountains, bollards and bike racks, shall complement the color and design of other features.

Key Map



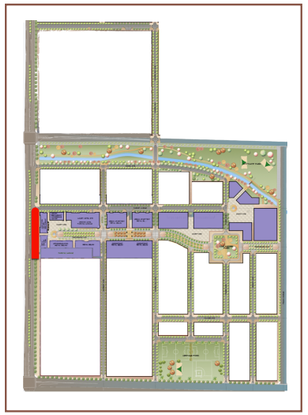
Willow Avenue - Promenade Frontage



	Promenade Trail 30'	Building Setback 15'
LANDSCAPE		
Tree Palette* *Tree Type(s) selected shall be consistently planted	Laurus nobilis 'Saratoga', Pistacia chinensis, Zelkova serrata	See Heritage Grove Design Guideline Tree Location Matrix
Tree Pattern/ Spacing	15' min., 25' max.	15' min., 30' max.
Shrub Palette* *Shrub Type(s) selected shall be consistently planted"	Tree grates or boxwood	See Heritage Grove Design Guideline Shrub Location Matrix
LIGHTING		
Light Model with banner pole option	Heritage Grove Luminaries and pole-LCN series by U.S. Architectural Inc. or equivalent. Double head.	Heritage Grove Luminaries and pole-LCN series by U.S. Architectural Inc. or equivalent. Double head.
Placement and spacing	To be determined at final site plan review	To be determined at final site plan review

STREETSCAPE FURNITURE/OTHER	
Furnishing(s)	6' 'Reading' Bench (#RE26) by Keystone Ridge Designs or equivalent ; 'Reading' Litter Round Receptacle by Keystone Ridge Designs or equivalent, size per City of Clovis standards. Color-bronze or equivalent.
Street Sign Post	Per site plan review
Other	All other street furniture, such as newsracks, drinking fountains, bollards and bike racks, shall complement the color and design of other features.

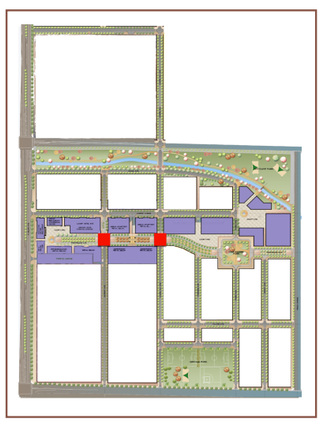
Key Map



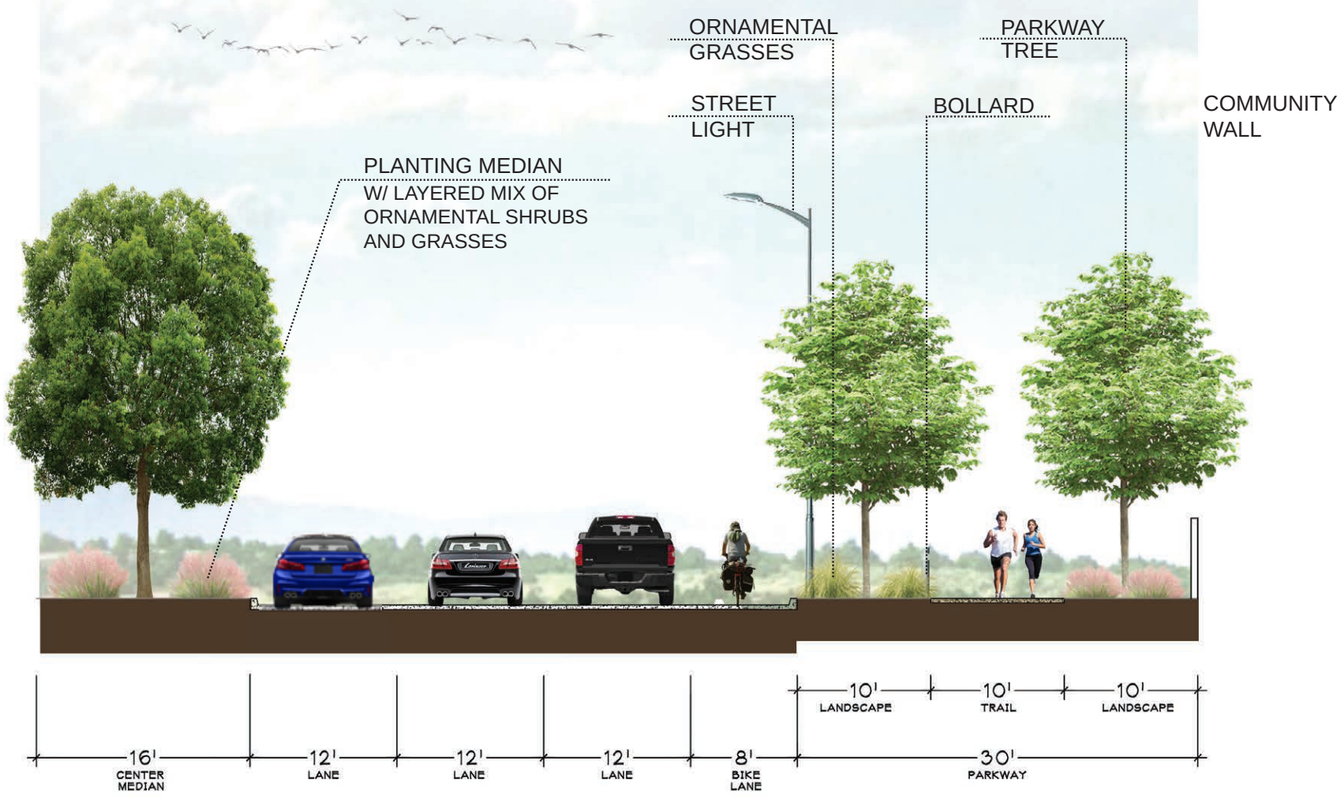
Promenade Avenue Intersection

In an effort to restrict vehicular speeds and promote safety for pedestrians, traffic calming measures will be implemented on Promenade Avenue intersections. These include planted medians to provide a barrier between non-motorized and vehicular traffic, and bulb outs with protective bollards. Roads will be raised to meet walkways at bulb outs.

Key Map



Willow Avenue



	Promenade Trail 30'	Building Setback 15'
LANDSCAPE		
Tree Palette* *Tree Type(s) selected shall be consistently planted	Laurus nobilis 'Saratoga', Pistacia chinensis, Zelkova serrata	See Heritage Grove Design Guideline Tree Location Matrix
Tree Pattern/ Spacing	15' min., 25' max.	15' min., 30' max.
Shrub Palette* *Shrub Type(s) selected shall be consistently planted"	Tree grates or boxwood	See Heritage Grove Design Guideline Shrub Location Matrix
LIGHTING		
Light Model with banner pole option	Heritage Grove Luminaries and pole- LCN series by U.S. Architectural Inc. or equivalent. Double head.	Heritage Grove Luminaries and pole- LCN series by U.S. Architectural Inc. or equivalent. Double head.
Placement and spacing	To be determined at final site plan review	To be determined at final site plan review

STREETSCAPE FURNITURE/OTHER	
Furnishing(s)	6' 'Reading' Bench (#RE26) by Keystone Ridge Designs or equivalent ; 'Reading' Litter Round Receptacle by Keystone Ridge Designs or equivalent, size per City of Clovis standards. Color-bronze or equivalent.
Street Sign Post	Per site plan review
Other	All other street furniture, such as newsracks, drinking fountains, bollards and bike racks, shall complement the color and design of other features.

Key Map

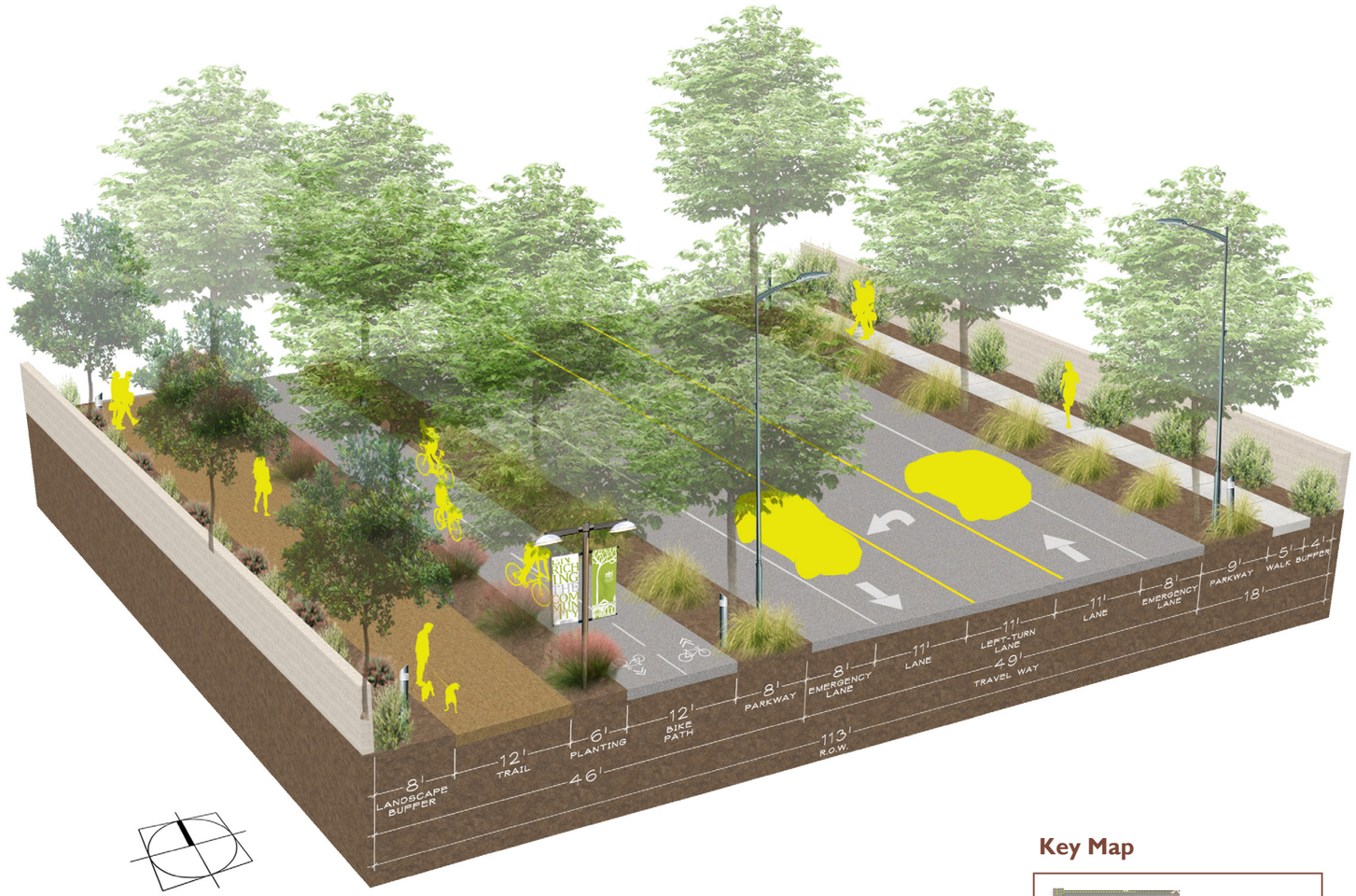
Academic Blvd

Minnewawa and International Avenue has been designated as a thematic street or "Academic Boulevard". The major attributes are:

1. Segregated pedestrian trail and bike path including a public transportation route that provides connectivity between educational facilities.

2. Safe path of travel for students and the community

3. Street messaging and seasonal celebrations connected with academic programs through the use of banners and flag brackets at street lights.



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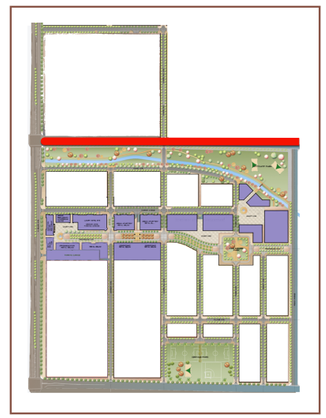
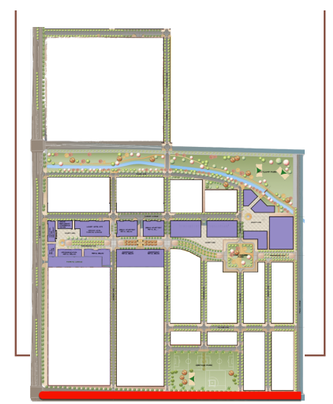


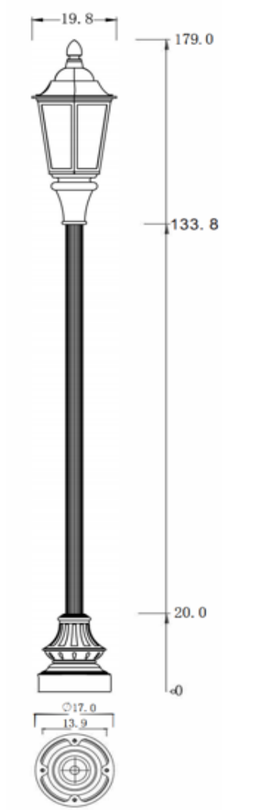
West Behymer Avenue



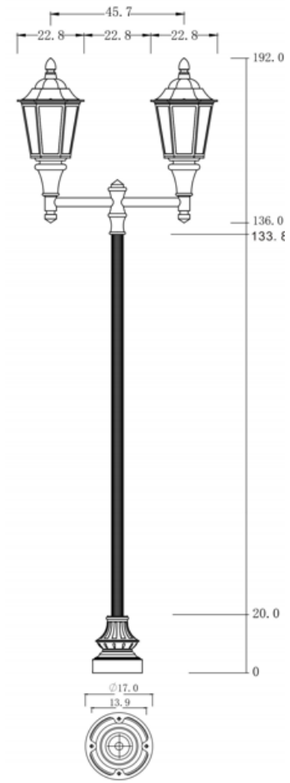
Lighting Plan

Light standards for urban trails should be consistent with the street lighting in Heritage Grove City Center Village North and South. The Spacing and placement of Street and Bollard Lighting should provide enough lighting for the safety and convenience of pedestrians, while not interfering with the privacy and comfort of nearby homes. Lighting placement and spacing will be determined at final site plan review.

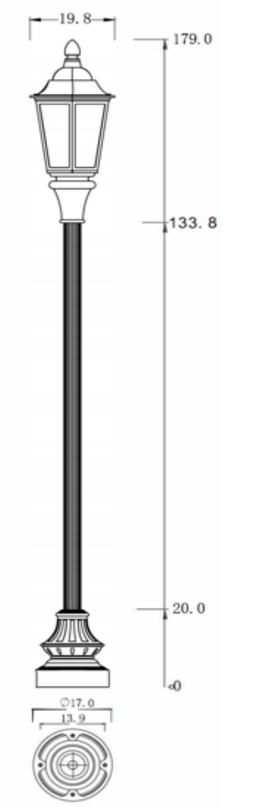
The Vintage Municipal Quality Street Light will serve as a versatile lighting option on streets, sidewalks, and trails. along with the Annapolis Smart Bollard utilizes solar technology, which reduces installation, maintenance and energy costs. Microprocessing technology automatically turns lights off and on at dusk and dawn.



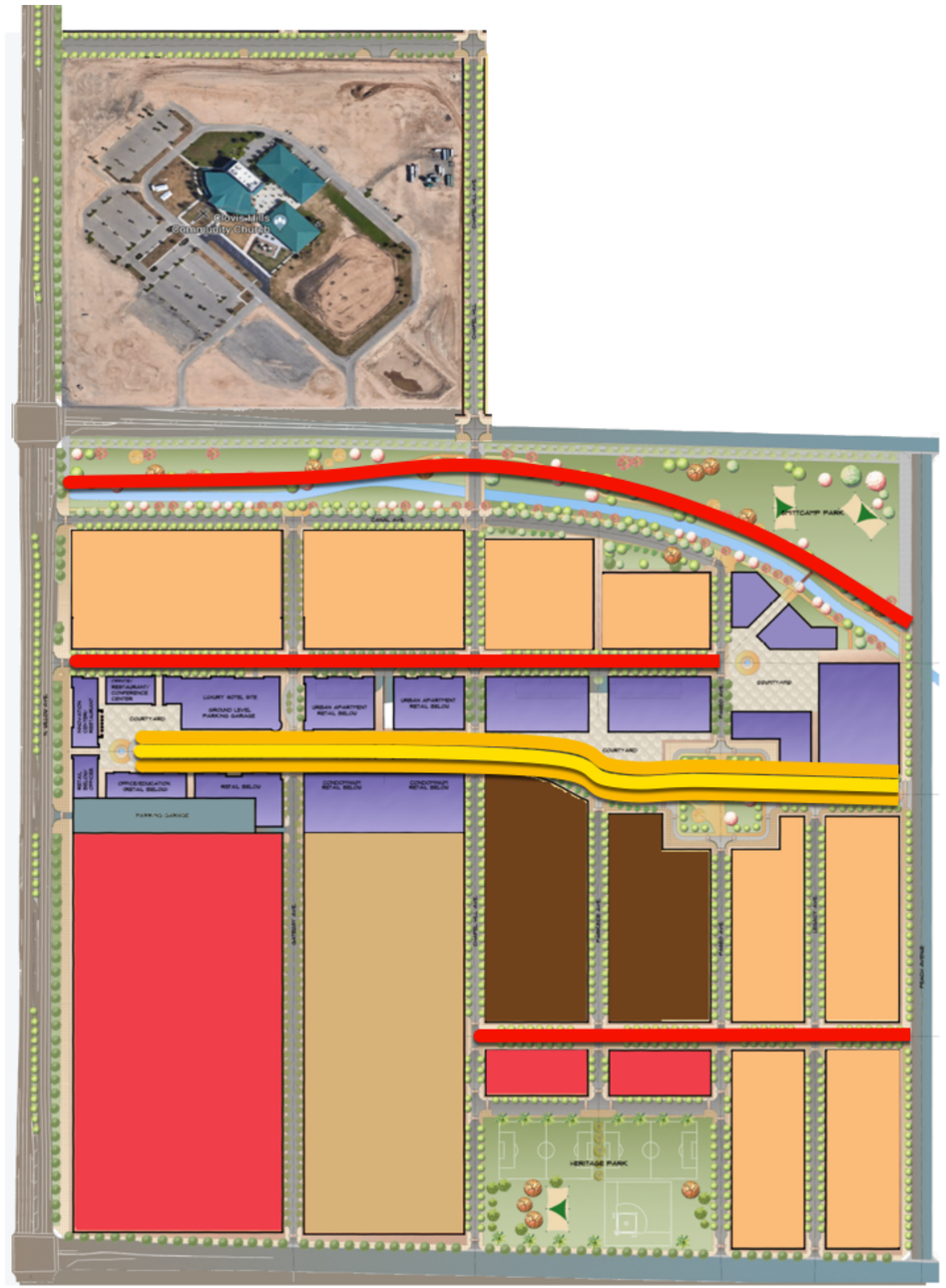
SINGLE HEAD LIGHT



DOUBLE HEAD LIGHT



SINGLE HEAD LIGHT



Tree Location Matrix

SYM	Common Name	Botanical Name	Water Use	Deciduous/ Evergreen	Median	Parks	Parkways	Paseo	Community Entries	Accent	Edible	Native	Trails + Open Space
T-1	Strawberry Tree	Arbutus unedo	L	E	•			•			•	•	•
T-2	Lemon, orange, etc	Citrus spp.	M	E		•							
T-3	Italian Cypress	Cupressus sempervirens	M	E		•		•					
T-4	Goldenrain Tree	Koelreuteria paniculata	M	D	•		•	•		•			
T-5	Crape Myrtle (Red)	Lagerstroemia indica 'Dynamite'	L	D		•			•	•			
T-6	Crape Myrtle (White)	Lagerstroemia indica 'Natchez'	L	D	•	•			•	•			
T-7	Crape Myrtle (Pink)	Lagerstroemia indica 'Muskogee'	L	D	•	•	•	•	•	•			
T-8	Bay Laurel	Laurus nobilis	L	E	•		•	•				•	
T-9	Saratoga Bay	Laurus nobilis 'Saratoga'	L	E	•		•	•				•	
T-10	Olive	Olea europaea	VL	E	•				•		•		•
T-11	Fruitless Olive	Olea europaea 'swan hill'	VL	E		•	•		•				
T-12	Date Palm	Phoenix dactylifera	L	E	•	•	•						
T-13	Italian Stone Pine	Pinus pinea	L	E		•							•
T-14	Chinese Pistache	Pistacia chinensis 'Keith Davies'	L	D	•	•	•			•			
T-15	London Plane	Platanus X acerifolia and cvs.	M	D	•	•	•						•
T-16	Holly Oak	Quercus ilex	L	E	•	•							
T-17	Valley Oak	Quercus lobata	L	D	•	•						•	•
T-18	English Oak	Quercus robur	M	D	•	•	•	•		•			
T-19	Skinny Genes Oak	Quercus 'Skinny Genes'	M	D	•		•						
T-20	Cork Oak	Quercus suber	L	E	•	•	•	•		•			•
T-21	Southern Live Oak	Quercus virginiana	M	E	•	•	•	•		•			•
T-22	Interior Live Oak	Quercus wislizeni	VL	E	•	•	•	•				•	•
T-23	Brisbane Box	Tristaniopsis laurina	M	E	•			•					
T-24	California Fan Palm	Washingtonia filifera	M	E	•	•	•					•	
T-25	Saw Leaf Zelkova	Zelkova serrata	M	D	•	•	•						

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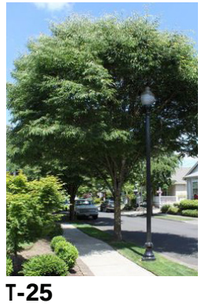
T-25

Shrub Location Matrix

SYM	Common Name	Botanical Name	Water Use	Median	Parks	Parkways	Paseo	Community Entries	Accent	Slope Erosion	Native	Trails + Open Space
S-1	Prostrate Acacia	Acacia redolens 'Desert Carpet'	VL							•		•
S-2	Fern Leaf Yarrow	Achillea 'Moonshine'	L		•			•	•			
S-3	Lily of the Nile	Agapanthus africanus 'Queen Anne'	M	•	•			•	•			
S-4	Weber Agave	Agave weberi	VL		•		•	•	•			
S-5	Crimson Pygmy Barberry	Berberis thunbergii autropurpurea	M	•	•		•					
S-6	Japanese Boxwood	Buxus m. japonica	M		•			•				
S-7	Bottle Brush	Callistemon citrinus 'Little John'	L	•	•	•	•					•
S-8	Fortnight Lily	Dietes bicolor	L	•	•	•	•	•				
S-9	Pineapple Guava	Fejoa sellowiana	L		•					•		•
S-10	Evergreen Euonymus	Euonymus japonicus	L	•	•		•	•				
S-11	Daylily (Evergreen varieties)	Hemerocallis spp.	M	•	•	•	•	•	•			
S-12	Red Yucca	Hesperaloe parvifolia	L		•			•	•		•	•
S-13	Red Hot Poker	Kniphofia uvaria	L	•	•	•	•		•			
S-14	Bay Laurel	Laurus nobilis	L		•							•
S-15	Spanish Lavendar	Lavandula stoechas 'Otto quast'	L		•				•			
S-16	Japanese Privet	Ligustrum japonicum 'texanum'	L									•
S-17	Little Ollie Dwarf Olive	Olea europaea 'Montra'	VL	•	•	•	•					•
S-18	Russian Sage	Perovskia atriplicifolia	L		•		•	•	•			•
S-19	New Zealand Flax	Phormium tenax	L	•	•		•	•	•			
S-20	Dwarf Pittosporum	Pittosporum tobira 'Wheelers Dwarf'	M		•		•					
S-21	Dwarf Indian Hawthorne	Rhaphiolepis indica 'Ballerina'	M		•	•	•			•		•
S-22	Yeddo Hawthorne	Rhaphiolepis umbellata	L		•		•					
S-23	Carpet Rose	Rosa	M	•		•	•	•	•			
S-24	Floribunda Rose	Rosa floribunda	M	•	•		•	•	•			
S-25	Rosemary	Rosmarinus officinalis 'Tuscan Blue'	L		•						•	•
S-26	Trailing Rosemary	Rosmarinus 'Prostratus'	L							•	•	•
S-27	Germander	Teucrium chamaedrys 'Nanum'	L		•			•	•			
S-28	Society Garlic	Tulbaghia violacea	L	•	•	•	•	•	•			
S-29	Laurustinus	Viburnum tinus	M		•							•

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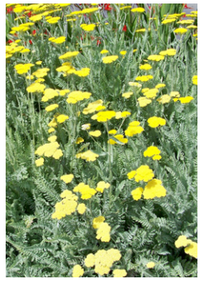
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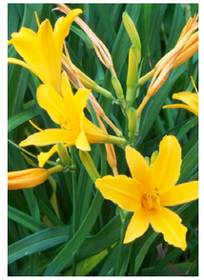
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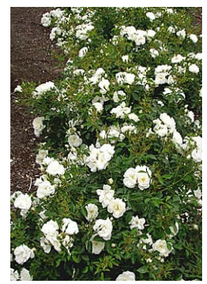
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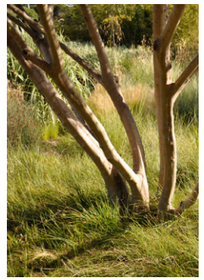
Grasses, Groundcover, and Vines Location Matrix

SYM	Common Name	Botanical Name	Water Use	Median	Parks	Parkways	Paseo	Community Entries	Accent	Slope Erosion	Native	Trails + Open Space
	Grasses											
G-1	Western Meadow Sedge	Carex praegracilis	M	•		•					•	•
G-2	Atlas Fescue	Festuca mairei	L	•	•	•	•	•		•	•	•
G-3	Creeping Wild Rye	Leymus triticoides	L							•	•	•
G-4	Maiden Grass	Miscanthus sinensis 'Morning Light'	M	•		•						•
G-5	White Muhly Grass	Muhlenbergia capillaris 'White Cloud'	L	•	•	•	•	•	•			•
G-6	Pink Muhly Grass	Muhlenbergia capillaris 'Regal Mist'	L	•	•	•	•	•	•			•
G-7	Bull Grass	Muhlenbergia dubia	L	•	•	•	•			•	•	•
G-8	Slender Veldt Grass	Pennisetum spathiolatum	L	•	•	•	•			•	•	•
G-9	John Greenlee's Moor Grass	Sesleria 'Greenlee'	M	•	•	•	•	•				
G-10	Sand Cord Grass	Spartina bakeri	L		•		•			•	•	•
G-11	Giant Feather Grass	Stipa gigantia	L		•		•	•	•	•		•
	Groundcover											
GC-1	Myoporum	Myoporum parvifolium & cvs.	L	•	•	•	•			•		•
GC-2	Groundcover Roses	Rosa 'Drift Series'	M	•	•	•	•	•	•			
	Vines											
V-1	Creeping Fig	Ficus pumila	M		•			•				•
V-2	Cat's Claw Vine	Macfadyena unguis-cati	L		•			•	•			•
V-3	Boston Ivy	Parthenocissus tricuspidata	M		•			•	•			•


G-1

G-2

G-3

G-4

G-5

G-6

G-7

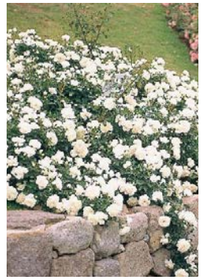
G-8

G-9

G-10

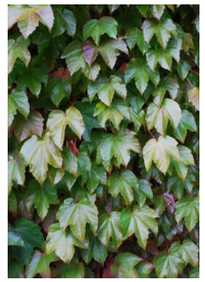
G-11

GC-1


GC-2

V-1

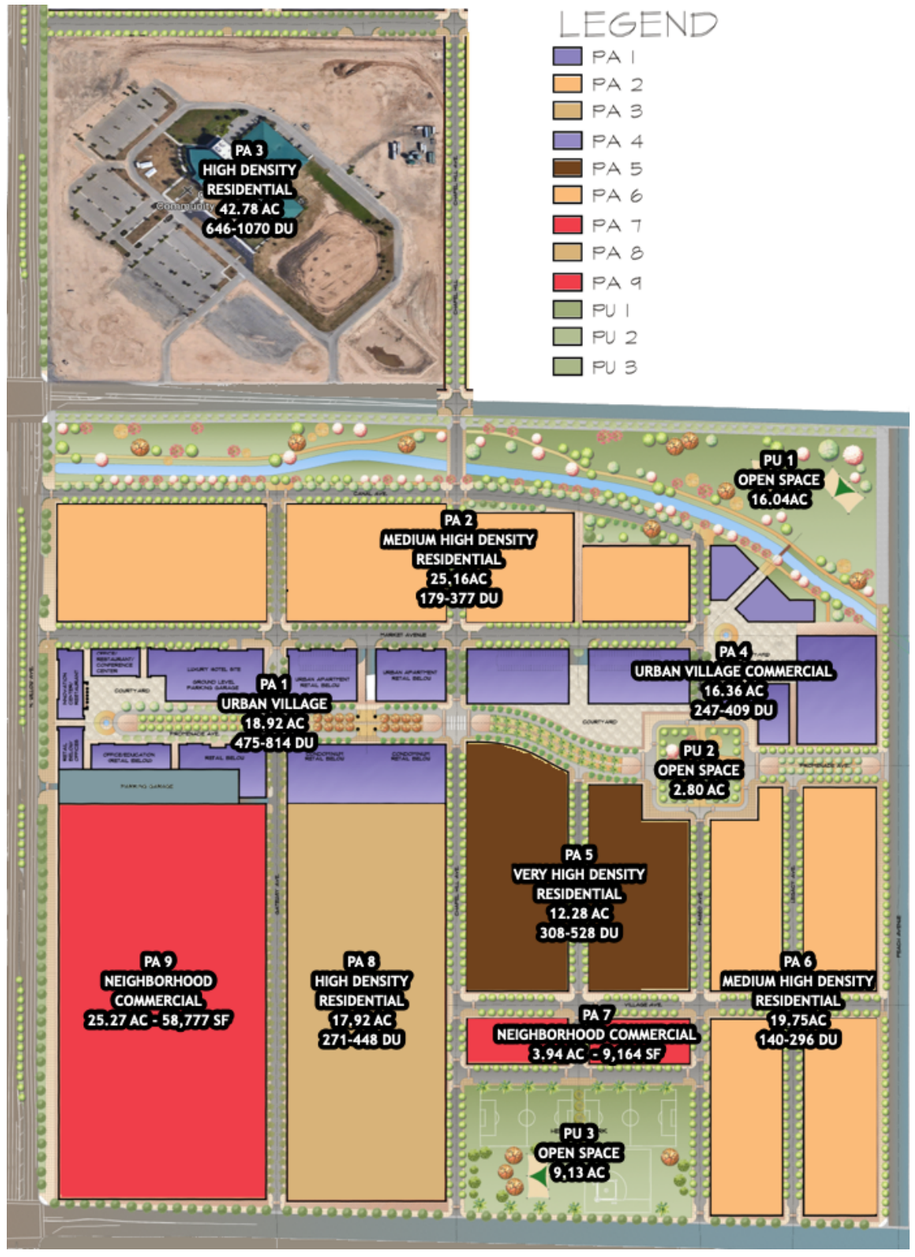
V-2


V-3

LAND USE DEVELOPMENT STANDARDS

Planning Areas

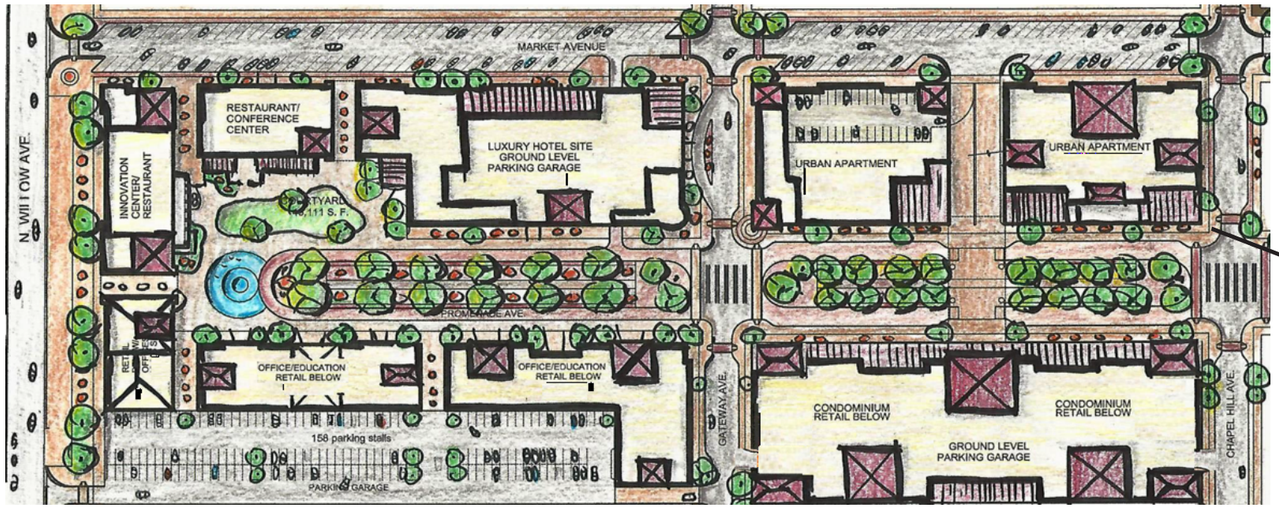
The Heritage Grove City Center Villages are composed of nine Planning Areas and three Public Areas. The Planning Areas provide for a mix of uses including residential, commercial, office and entertainment. The three Public Areas will contain a variety of civic uses serving both Urban Villages.



Planning Areas

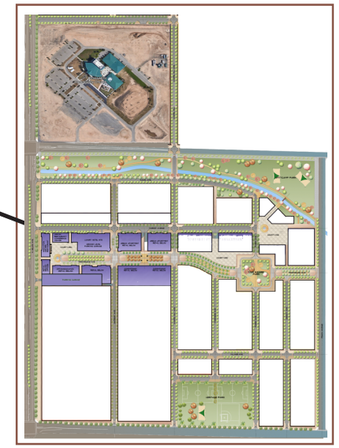
Planning Area 1-Main Street Promenade

Planning Area 1 is considered the "Promenade" of Heritage Grove City Center Village North and will be a vibrant, mixed use district featuring a broad town plaza, business innovation center and pedestrian-oriented shops and restaurants with condominiums and apartments above. Land uses will be integrated physically and functionally. Residential units and/or offices will be stacked above or adjacent to retail stores, restaurants and/or offices. The promenade will be a bustling entertainment district with generous, active sidewalks and outdoor dining opportunities.



Planning Area 1-Conceptual Illustrative

Key Map



Development Standards

DESIGNATION	
General Plan	Urban Village
Base Zoning District	Mixed Use Village
Density Range	25.1 to 43 dwelling units per acre

BUILDING INTENSITY		
Minimum Lot Area	N/A	
Minimum Lot Width	25'	
Minimum Lot Depth	N/A	
Maximum building height	72'	5-stories
Maximum F.A.R.	4	

BUILDING SETBACKS (From Property Line)		
Front Willow and Market Ave	15'	
Front to Local Street	N/A	Build- to line from ultimate ROW
Front to Promenade Ave	N/A	Build- to line from ultimate ROW
Side yard	N/A	
Corner side yard	5'	
Rear yard*	N/A	

Condominium Illustrative Concept

Planning Area 1-Main Street Promenade (cont.)

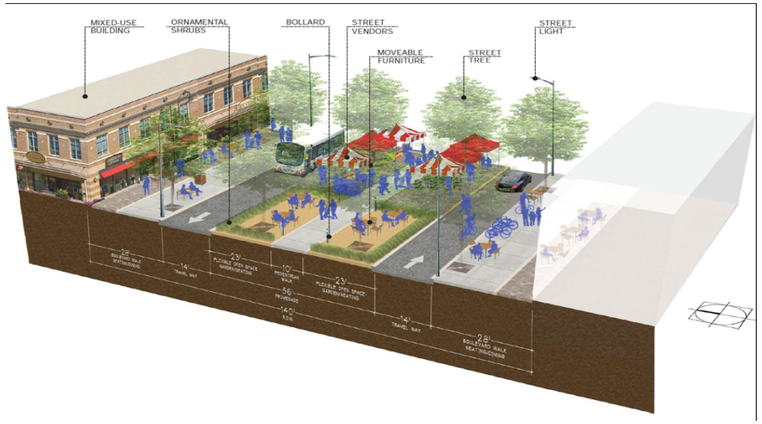
Development Standards

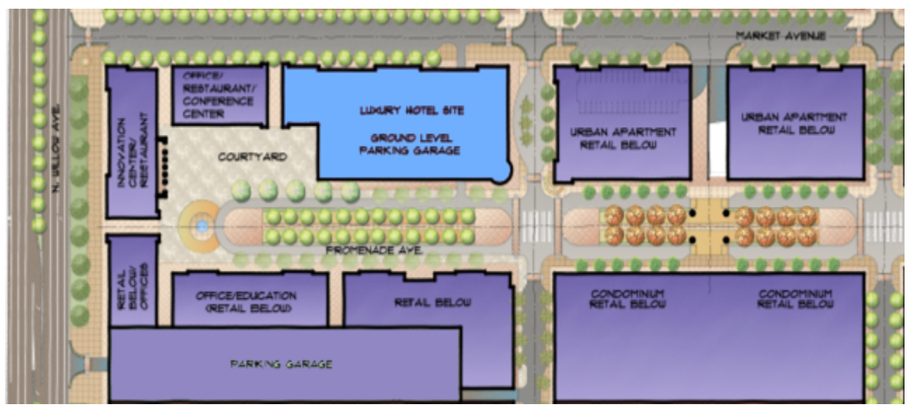
PEDESTRIAN and VEHICULAR CIRCULATION	
Sidewalks	All front doors must be accessed by a minimum 6' sidewalk
Promenade Ave	84 curb to curb and 140' ROW (see street sections)
Alleys and Service roads	25' ROW (see street sections)

PARKING			
USE	COVERED	OPEN	
Attached Residential Studio, 1, 2 BR 3+ BR	 1 1	 0 1	Add 0.5 for Live-work units 1 car garage 10' x 20' 2 car garage: 20' x 20' standard; 12' x 40' tandem
Business professional offices Medical, Dental Offices/clinics	1 per 250 square feet 8 for first doctor plus 5 for each additional doctor		
Retail	0-20,000 square feet - 5.4 per 1,000 gross building area 20,000-70,000 square feet - 4.7 per 1,000 gross building area 70,000 square feet and over - 3.3 per 1,000 gross building area		
Restaurants, Delis, Bars/cocktail lounges	0-1,000 SF- 1 per 200 SF 1,000-4,000 SF- 1 per 100 SF 4,000 SF- 40 spaces plus 1 per 50 SF over 4,000 SF		
Financial institutions/Banks	5.4 per 1,000 gross building area		
Movie Theater	1 per 4 fixed seats or 1 per 35 SF		
Health Club/Gym	1 per 100 SF		

ACCESSORY USES		
Walls and Fences	3'-6'	No block walls adjacent to Willow or Market Avenue
Carports / Garages		Architecture to match neighborhood theme. Lattice also acceptable
Trash Enclosures		Architecture to match neighborhood theme
Parking and pedestrian lot lights to utilize Heritage Grove street and paseo standards		

PERMITTED USES
Retail, including bakeries, bicycle shops, book stores, carpet sales, clothing and shoe stores, small drug stores, florists, gift shops, hobby and craft stores, music and video stores, boutique retail, etc.
Business, professional and medical/dental offices, included veterinary clinics
2 floor Garage , 3 & 4 floor residential or offices (Business Innovation Center) (vertically mixed uses)
Live-work units (subject to CUP)
Restaurants, delis and ice cream parlors
Boutique Hotels not to exceed 200 rooms
Trails and bike paths, and Neighborhood pocket parks & open space amenities
Bars, cocktail lounges (subject to CUP)
Health Clubs, gyms (subject to CUP over 25,000 SF)
Financial institutions and banks
Electronic billboards and electronic signs (subject to CUP over 10x8 feet)
Service, including laundry and photography
Parking garage (subject to CUP)
Movie theaters not to exceed 500 seats (subject to CUP)
Other uses to be found similar by City Planner





Setback to Promenade Avenue

Planning Area 2 - Medium High Density Residential

Planning Area 2 is a medium high density residential district in the City Center Village North. It's proximity to the Promenade and retail/entertainment district to the south makes this area ideal for small lot motor court homes, stacked flats, townhomes, and senior housing. A pedestrian and bicycle trail to the north will cross though on the west and east, linking to North Park.

Development Standards

DESIGNATION	
General Plan	Medium High Density Residential
Base Zoning District	R-2
Density Range	7.1 to 15 dwelling units per acre

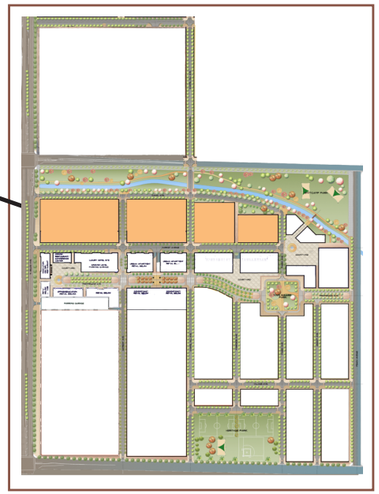
BUILDING INTENSITY		
Minimum Lot Area	3,500 S.F.	
Minimum Lot Width	N/A	
Minimum Lot Depth	N/A	
Maximum building height	30'	3-stories
Maximum lot coverage	60%	

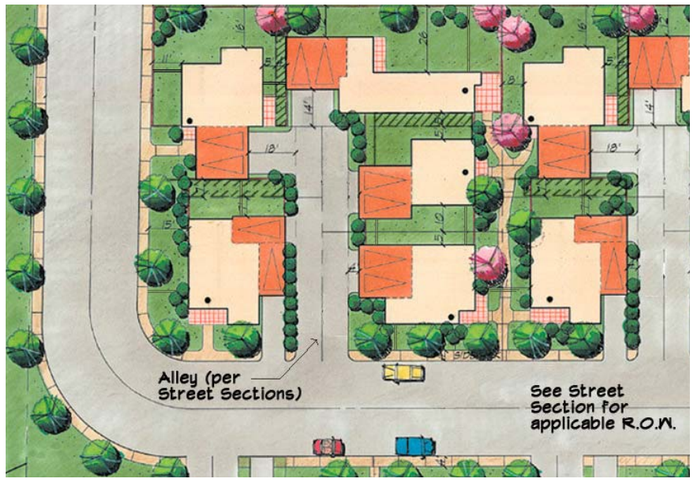
BUILDING SETBACKS (From Property Line)		
Front Yard to local road	10'	5' to porch
Side yard	5'	
Corner side yard	10'	
Rear yard*	10'	
* Setback to alley is 5'.		

MINIMUM BUILDING SEPARATION		
Front to Front, Front to Side, Front to Rear OR Rear to Rear	2-stories 20' 3-stories 30'	Please review latest applicable building code for construction and fire wall requirements.
Side to side	0'	

Planning Area 2-Conceptual Illustrative

Key Map





Reversed SFD Cluster

Small Lot Motor Court

Planning Area 2 - Medium High Density Residential (cont.)

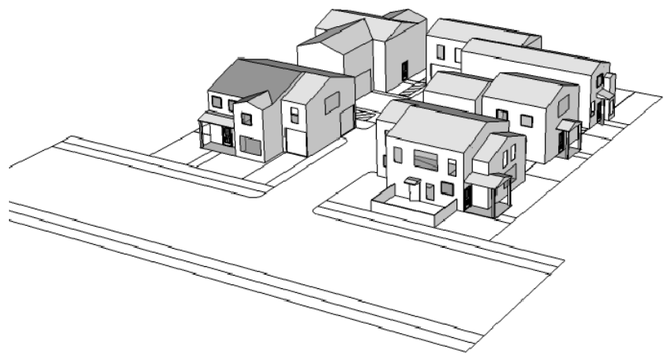
Development Standards

PEDESTRIAN and VEHICULAR CIRCULATION	
Local Roads	36'-40' ROW see street sections
Alleys	25' ROW, see street sections

PARKING			
USE	COVERED	OPEN	
Attached Residential Studio,1 & 2 BR 3+ BR	 1 1	 1 2	Add .5 for live-work 1 car garage 10' x 20' 2 car garage: standard 20' x 20'; tandem 12' x 40'
Senior Residential Active Adult Semi-independent	 1	 .25 per unit .5 per unit	
Child Care		1 per 6 children	

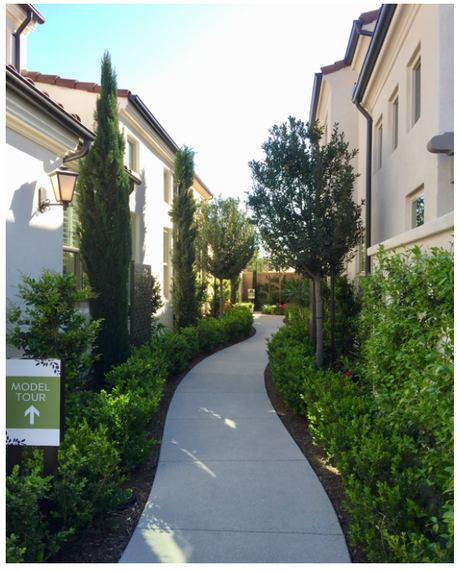
PERMITTED USES
Stacked flats
Townhomes
Live-Work
Apartments
Small-lot motor court SFD cluster
Senior housing, Active Adult and Semi-independent units (subject to CUP)
Parking Garage (subject to CUP)
Child Care Facility (subject to a CUP)

ACCESSORY USES		
Walls and Fences	3'-6'	No wall over 3' in required front yard.
Carports		Architecture to match neighborhood theme. Lattice also acceptable
Trash Enclosures		Architecture to match neighborhood theme
Parking and pedestrian lot lights to utilize Heritage Grove street and paseo standards		



Reversed SFD Cluster Massing Model

Stacked Flats



SFD Cluster Entrance

Auto Court SFD Cluster Street Scene

Planning Area 3 - High Density Residential

Planning Area 3 is a Church Campus with a high density residential district in the City Center Village North. Homes should front onto Chapel Hill Avenue, Willow and International Avenues with garage access off an alley, for a handsome street scene. A trail system will connect homes to parks, major trails and Clovis Community College and Clovis North Education Center to the West.

Development Standards

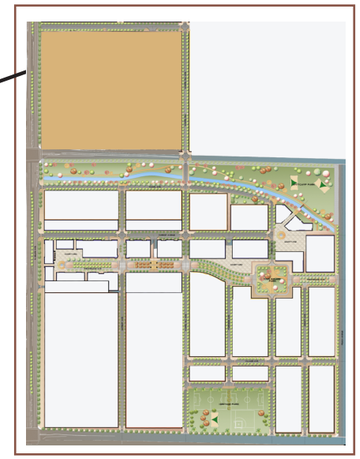
DESIGNATION	
General Plan	High Density Residential
Base Zoning District	R-3
Density Range	15.1 to 25 dwelling units per acre

BUILDING INTENSITY		
Minimum Lot Area	2,100 SF	Lots may require a reciprocal use easement for useable private open space.
Minimum Lot Width	35'	
Minimum Lot Depth	55'	
Maximum building height	50'	3-stories
Maximum lot coverage	60%	

BUILDING SETBACKS (From Property Line)		
Front to Willow, International and Chapel Hill ROW	10'	No direct driveway access off Willow or International. 5' to porch
Front Yard to local road	10'	5' to porch
Front to Trail or Park	10'	5' to porch. 5' internal sidewalk included in setback.
Side yard	5'	
Corner side yard	10'	
Rear yard*	10'	Rear yards may not face Willow Ave., International or Trail or park to the south.
* Rear yard to garage is 5' to rear property line or alley.		

Planning Area 3-Conceptual Illustrative

Key Map



Townhomes

Townhomes

Planning Area 3-High Density Residential (cont.)

Development Standards

PEDESTRIAN and VEHICULAR CIRCULATION	
Local Roads	36'-40' ROW see street sections
Alleys	25' ROW, see street sections

PARKING			
USE	COVERED	OPEN	
Attached Residential * Studio,1 & 2 BR 3+ BR	 1 1	 1 2	Add .5 for live-work 1 car garage 10' x 20' 2 car garage: standard 20' x 20'; tandem 12' x 40'
Senior Residential Active Adult Semi-independent	1	 .25 per unit .5 per unit	
Child Care		1 per 6 children	
*May be modified through CUP process			

MINIMUM BUILDING SEPARATION		
Front to Front, Front to Side, Front to Rear OR Rear to Rear	2-stories 15' 3-stories 20'	Please review latest applicable building code for construction and fire wall requirements.
Side to side	0'	

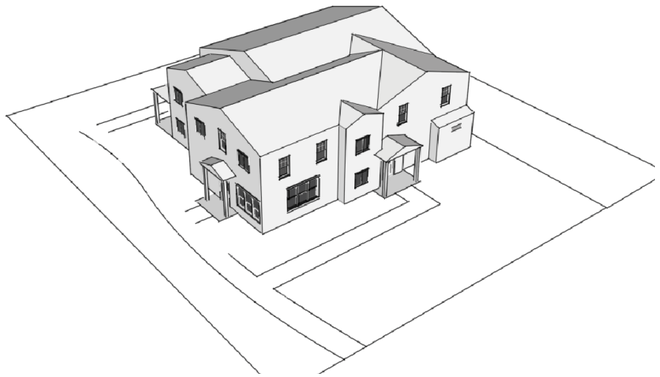
PERMITTED USES
Small lot, higher density singlefamily detached homes, alley-loaded preferred
Duplexes
Triplex mansion homes
Paired-Z
Clustered SFD
Townhomes
Apartments
Senior apartments, active adult and semi-independent (subject to CUP)
Child care facility (subject to a CUP)
Neighborhood pocket parks, tot-lots and open space amenities
Internal pedestrian trails and bike paths

ACCESSORY USES		
Walls and Fences	3'-6'	No block walls adjacent to collector roads. No wall over 3' in required front yard.
Carports		Architecture to match neighborhood theme. Lattice also acceptable
Trash Enclosures		Architecture to match neighborhood theme
Parking and pedestrian lot lights to utilize Heritage Grove street and paseo standards		

Mansion Homes

Mansion Home Front Elevation

SFD Clusters



Mansion Home Massing Model

Planning Area 4 - Entertainment and Mixed Use District

Planning Area 4 is a medium-scale retail, entertainment and residential district in the City Center Village North. Substantial frontage onto Promenade Avenue provides a window for shopping, entertainment, employment, dining and services. Pedestrian/bicycle paths, which link all points in the community, traverse through the east and west connecting to Main Street Promenade in PA 1. which also provides a pedestrian gateway to the Town Square Park to the south.

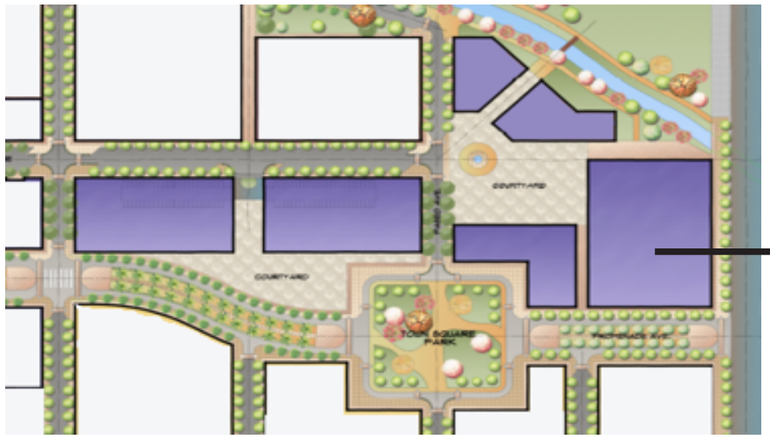
Development Standards

DESIGNATION	
General Plan	Urban Village Commercial
Base Zoning District	Mixed Use Village
Density Range	15.1 to 25 dwelling units per acre

BUILDING INTENSITY		
Minimum Lot Area	N/A	
Minimum Lot Width	N/A	
Minimum Lot Depth	N/A	
Maximum building height	50'	4-stories
Maximum F.A.R.	.75	

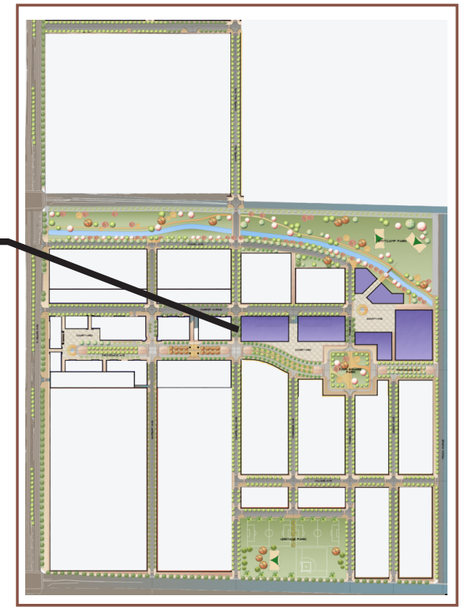
BUILDING SETBACKS (From Property Line)		
Front yard to Promenade, Market, and Peach Ave R.O.W.	10'	No direct driveway access to homes off Market and Promenade
Front yard to Local roads	10'	Direct driveway access to homes off local roads only
Side yard	5'	
Corner side yard	10'	

MINIMUM BUILDING SEPARATION		
Front to Front, Front to Side, Front to Rear OR Rear to Rear	2-stories 15' 3-stories 20' 4-stories 25'	Please review latest applicable building code for construction and fire wall requirements.
Side to side	0'	



Planning Area 5-Conceptual Illustrative

Key Map



Shops at Town Square

Open Plaza at Town Square

Pedestrian Plaza at Town Square Park

Planning Area 4 - Entertainment and Mixed Use District (cont.)

Development Standards

PEDESTRIAN and VEHICULAR CIRCULATION	
Sidewalks	Minimum 10' sidewalk along storefronts
Local roads	36'-40' pavement (see street sections)
Alleys and service roads	25' ROW see street sections

PARKING			
USE	COVERED	OPEN	
Attached Residential * Studio, 1, 2 BR, 3+ BR	 1 1	 1 2	Add 0.5 for Live-work units 1 car garage 10' x 20' 2 car garage standard 20' x 20' tandem 12' x 40'
Business professional offices Medical, Dental Offices/clinics	1 per 250 square feet 8 for first doctor plus 5 for each additional doctor		
Retail	0-20,000 SF - 5.4 per 1,000 gross building area 20,000-70,000 SF - 5.0 per 1,000 gross building area 70,000 SF and over - 4.7 per 1,000 gross building area		
Restaurants, Delis, Bars/ cocktail lounges	0-1,000 SF- 1 per 200 SF 1,000-4,000 SF- 1 per 100 SF 4,000 SF- 40 spaces plus 1 per 50 SF over 4,000 SF		
Financial Institutions/Banks	5.4 per 1,000 gross building area		
Health Club/Gym	1 per 100 SF		
Barber/Beauty Salon/Spa	0.5 per station		
Movie Theater	1 per 4 fixed seats or 1 per 35 SF		
Art galleries and museums	1 per 500 SF gross floor area		
Photography Studios	1 per 1000 SF gross floor area		
*May be modified through CUP process			

PERMITTED USES
General retail, including bicycle shops, book stores, clothing and shoe stores, drug stores, florists, gift shops, hobby and craft stores, music and video stores, boutique retail, etc.
Business, professional and medical/dental offices and veterinary clinics
The residential land use of PA 6 may encroach into this site
2 & 3 floor residential (vertically mixed uses)
Live-work units
Restaurants, bakeries, delis and ice cream parlors
Neighborhood pocket parks (Town Square Park) & open space amenities, trails and bike paths
Barbers and beauty salons
Bars, cocktail lounges (subject to CUP)
Health clubs, gyms (over 5,000 subject to CUP)
Art galleries and museums
Photography studios
Movie theaters not to exceed 500 seats (subject to CUP)

PROHIBITED USES
Gas stations, auto service stations

ACCESSORY USES		
Walls and fences	3'-6'	No block walls adjacent to public street. No wall over 3' in required front yard.
Carports / garages	Architecture to match neighborhood theme. Lattice also acceptable	
Trash enclosures	Architecture to match neighborhood theme	
Parking and pedestrian lot lights to utilize Heritage Grove street and paseo standards		

Planning Area 5 - Very High Density Residential

Planning Area 5 is a very high density residential district consisting of 12.68 acres in the City Center Village South. PA 5 will be characterized by compact, efficient apartments, townhomes, seniors apartments and live-work units. These micro-neighborhoods are a short walk from the vibrant Promenade in PA 1 and entertainment and mixed-use district in PA 4.

Development Standards

DESIGNATION	
General Plan	Very High Density Residential
Base Zoning District	R-4
Density Range	25.1 to 43 dwelling units per acre

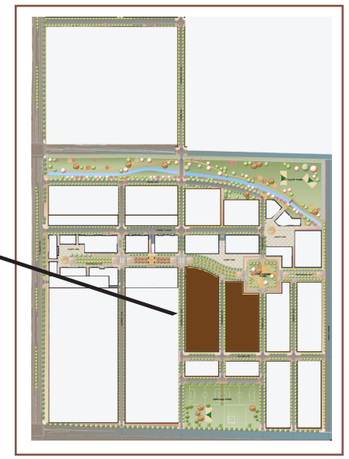
BUILDING INTENSITY		
Minimum Lot Area	N/A	
Minimum Lot Width	N/A	
Minimum Lot Depth	N/A	
Maximum building height	60'	4-stories
Maximum lot coverage	60%	

BUILDING SETBACKS (From Property Line)		
Front Yard to local road	10'	5' to porch
Side yard	5'	
Corner side yard	10'	
Rear yard*	10'	
* Setback to alley is 5'.		

MINIMUM BUILDING SEPARATION		
Front to Front, Front to Side, Front to Rear OR Rear to Rear	2-stories 15' 3-stories 20' 4-stories 25'	Please review latest applicable building code for construction and fire wall requirements.
Side to side	0'	

Planning Area 5-Conceptual Illustrative

Key Map



Luxury Apartment

Stacked Flats

Planning Area 5 - Very High Density Residential (cont.)

Development Standards

PEDESTRIAN and VEHICULAR CIRCULATION	
Local Roads	36'-40' ROW see street sections
Alleys	25' ROW, see street sections

PARKING			
USE	COVERED	OPEN	
Attached Residential * Studio,1 & 2 BR 3+ BR	 1 1	 1 2	Add .5 for live-work units 1 car garage 10' x 20' 2 car garage: standard 20' x 20'; tandem 12' x 40'
Senior Residential Active Adult Semi Independent	 1	 .25 per unit .5 per unit	
Child Care		1 per 6 children	
*May be modified through CUP process.			

PERMITTED USES
Stacked flats
Townhomes
Live-work (subject to a CUP)
Apartments
Senior apartments, active adult and semi-independent (subject to a CUP)
Child care facility (subject to a CUP)
Neighborhood pocket parks, tot-lots and open space amenities
Internal pedestrian trails and bike paths
Parking structure (subject to CUP)

ACCESSORY USES		
Walls and Fences	3'-6'	No block walls adjacent to collector roads. No wall over 3' in required front yard.
Carports		Architecture to match neighborhood theme. Lattice also acceptable
Trash Enclosures		Architecture to match neighborhood theme
Parking and pedestrian lot lights to utilize Heritage Grove street and paseo standards		

Luxury Apartment Complex

Club House

Senior Housing

Planning Area 6 - Medium High Density Residential

Planning Area 6 is a medium high density residential district in the City Center Village South. It's proximity to Heritage Park to the west and Town Square Park to the Northwest, linking to an entertainment/mixed-use district to the north makes this area ideal for small lot motor court homes, stacked flats, townhomes, and senior housing.

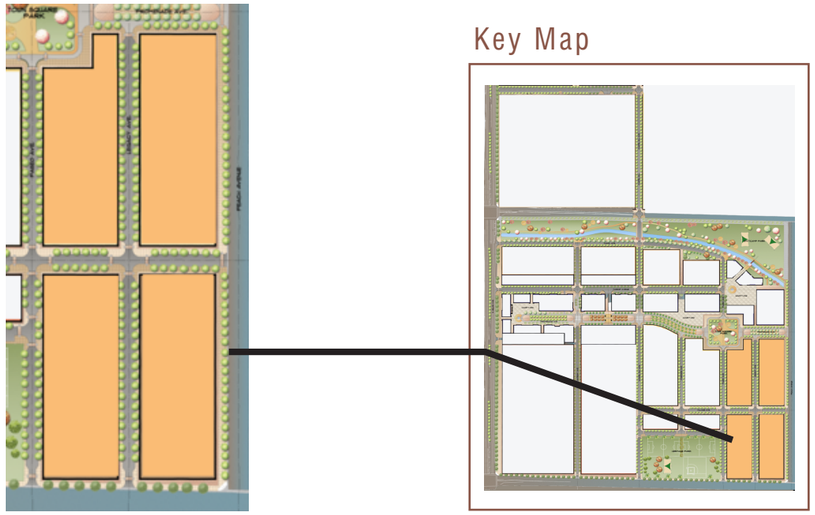
Development Standards

DESIGNATION	
General Plan	Medium High Density Residential
Base Zoning District	R-2
Density Range	7.1 to 15 dwelling units per acre

BUILDING INTENSITY		
Minimum Lot Area	3,500 S. F	
Minimum Lot Width	N/A	
Minimum Lot Depth	N/A	
Maximum building height	30'	3-stories
Maximum lot coverage	60%	

BUILDING SETBACKS (From Property Line)		
Front Yard to local road	10'	5' to porch
Side yard	5'	
Corner side yard	10'	
Rear yard*	10'	
* Setback to alley is 5'.		

MINIMUM BUILDING SEPARATION		
Front to Front, Front to Side, Front to Rear OR Rear to Rear	2-stories 20' 3-stories 30'	Please review latest applicable building code for construction and fire wall requirements.
Side to side	0'	



Planning Area 6-Conceptual Illustrative

Patio Homes

Townhomes

Planning Area 6 - Medium High Density Residential (cont.)

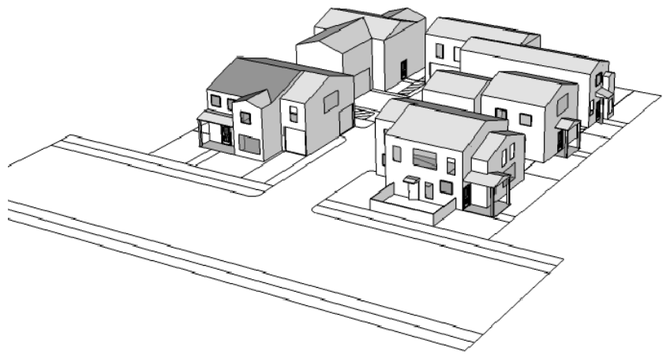
Development Standards

PEDESTRIAN and VEHICULAR CIRCULATION	
Local Roads	36'-40' ROW see street sections
Alleys	25' ROW, see street sections

PARKING			
USE	COVERED	OPEN	
Attached Residential Studio,1 & 2 BR 3+ BR	 1 1	 1 2	Add .5 for live-work 1 car garage 10' x 20' 2 car garage: standard 20' x 20'; tandem 12' x 40'
Senior Residential Active Adult Semi-independent	 1	 .25 per unit .5 per unit	
Child Care		1 per 6 children	

PERMITTED USES
Stacked flats
Townhomes
Live-Work
Apartments
Small-lot motor court SFD cluster
Senior housing, Active Adult and Semi-independent units (subject to CUP)
Parking Garage (subject to CUP)
Child Care Facility (subject to a CUP)

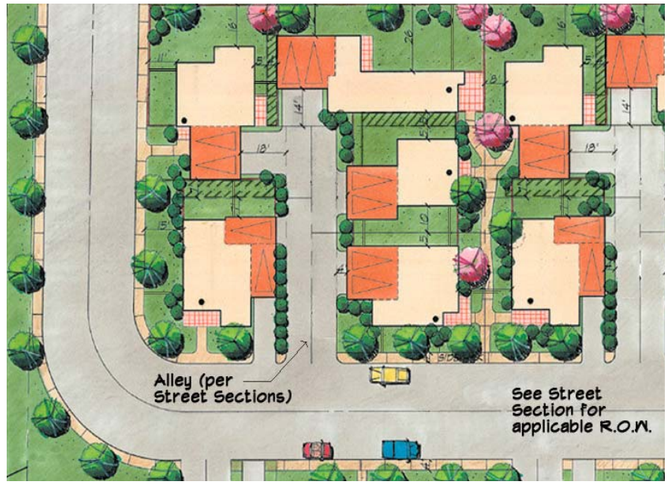
ACCESSORY USES		
Walls and Fences	3'-6'	No wall over 3' in required front yard.
Carports		
Trash Enclosures		Architecture to match neighborhood theme
Parking and pedestrian lot lights to utilize Heritage Grove street and paseo standards		



Reversed SFD Cluster Massing Model

Street Scene

Auto Court SFD Cluster Street Scene



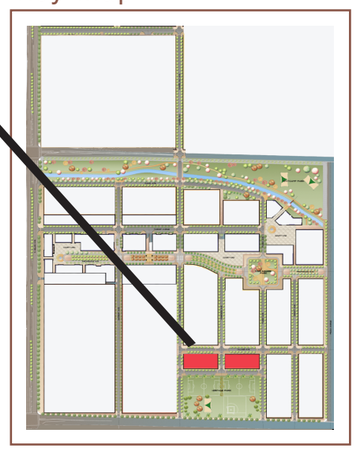
Reversed SFD Cluster

Planning Area 7 - Neighborhood Commercial Center

Planning area 7, the Neighborhood Commercial center, provides conveniently accessible basic amenities and services to residents in the City Center Village South. The neighborhood commercial center should be pedestrian oriented, with linkages to parks and trails to the south A grocery store and drug store will anchor the center, accompanied by a series of mid and small-sized shops and restaurants. Outdoor dining and covered seating areas should be available. The center is intended to serve community-oriented needs and will not have components intended to serve a much broader regional market. Commercial development should be intimate and small scale thereby allowing integration with residential uses. The center should provide functional outdoor spaces, trellis elements, screening of service and loading areas from residences and unified architectural and landscape themes consistent with the overall community theme.

Planning Area 7- Conceptual Illustrative

Key Map



Development Standards

DESIGNATION	
General Plan	Neighborhood Commercial Center
Base Zoning District	P-C-C
Density Range	N/A

BUILDING INTENSITY		
Minimum Lot Area	15,000 SF	
Minimum Lot Width	100'	
Minimum Lot Depth	150'	
Maximum building height	35'	2-stories
Maximum lot coverage	33%	See Clovis code- subsection E of section 9.3.214.5
Maximum F.A.R.	1.0	

BUILDING SETBACKS (From Property Line)		
Front yard to San Jose, Leonard and Shaw ROW	10'	
Side yard	N/A	
Corner side yard	N/A	
Rear yard	N/A	

PERMITTED USES
General retail, including, bicycle shops, book stores, clothing and shoe stores, drug stores, florists, gift shops, hobby and craft stores, music and video stores, boutique retail, etc.
Business, professional and medical/dental offices, included veterinary clinics
Restaurants, bakeries, delis and ice cream parlors
External trails and bike paths
Bars, cocktail lounges (subject to CUP)
Health clubs, gyms (over 5,000 SF subject to CUP)
Financial institutions and banks (drive-through subject to CUP)
Service, including barbers and beauty salons, laundry and photography studios
Drive-through pharmacy (subject to CUP)
Gas stations (subject to CUP)

PROHIBITED USES
Drive up/through restaurants, auto service stations, residential units

ACCESSORY USES		
Walls and Fences	5'-6'	No block walls adjacent to Leonard, Shaw or San Jose
Trash Enclosures	Architecture to match neighborhood theme	
Parking and pedestrian lot lights to utilize Heritage Grove street and paseo standard		

PEDESTRIAN and VEHICULAR CIRCULATION	
Sidewalks	Minimum 10' sidewalk along storefronts
Alleys and service roads	25' ROW, see street sections

PARKING	
USE	PARKING REQUIREMENT
All uses (Parking requirements for some uses may be subject to parking review)	0-20,000 square feet - 5.4 per 1,000 gross building area 20,000-70,000 square feet - 5.0 per 1,000 gross building area 70,000 square feet and over - 4.7 per 1,000 gross building area

MINIMUM BUILDING SEPARATION		
Front to Front, Front to Side, Front to Rear OR Rear to Rear	1-story 10' 2-stories 15'	Please review latest applicable building code for construction and fire wall requirements.
Side to side	0'	

Planning Area 8 - High Density Residential

Planning Area 8 is a Church Campus with a high density residential district in the City Center Village South. Homes should front onto Chapel Hill Avenue, Gateway and Behymer Avenues with garage access off an alley, for a handsome street scene. A trail system will connect homes to Heritage park on the south east.

Development Standards

DESIGNATION	
General Plan	High Density Residential
Base Zoning District	R-3
Density Range	15.1 to 25 dwelling units per acre

BUILDING INTENSITY		
Minimum Lot Area	2,100 SF	Lots may require a reciprocal use easement for useable private open space.
Minimum Lot Width	35'	
Minimum Lot Depth	55'	
Maximum building height	50'	3-stories
Maximum lot coverage	60%	

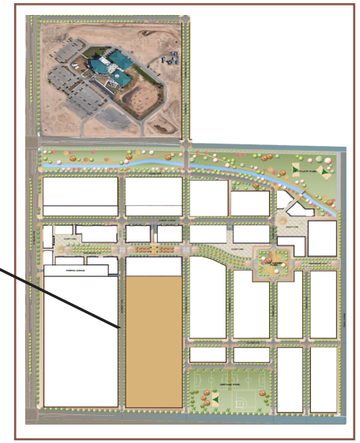
BUILDING SETBACKS (From Property Line)		
Front to Byhamer , Gateway and Chapel Hill ROW	10'	No direct driveway access off Byhamer or 5' to porch
Front Yard to local road	10'	5' to porch
Front to Trail or Park	10'	5' to porch. 5' internal sidewalk included in setback.
Side yard	5'	
Corner side yard	10'	
Rear yard*	10'	Rear yards may not face Willow Ave., International or Trail or park to the south.
* Rear yard to garage is 5' to rear property line or alley.		

SFD Clusters

Townhomes

Planning Area 8-Conceptual Illustrative

Key Map



Student Housing

Planning Area 8 - High Density Residential (cont.)

Development Standards

PEDESTRIAN and VEHICULAR CIRCULATION	
Local Roads	36'-40' ROW see street sections
Alleys	25' ROW, see street sections

PARKING			
USE	COVERED	OPEN	
Attached Residential * Studio, 1 & 2 BR 3+ BR	 1 1	 1 2	Add .5 for live-work 1 car garage 10' x 20' 2 car garage: standard 20' x 20'; tandem 12' x 40'
Senior Residential Active Adult Semi-independent	 1	 .25 per unit .5 per unit	
Child Care		1 per 6 children	
*May be modified through CUP process			

MINIMUM BUILDING SEPARATION		
Front to Front, Front to Side, Front to Rear OR Rear to Rear	2-stories 15' 3-stories 20'	Please review latest applicable building code for construction and fire wall requirements.
Side to side	0'	

PERMITTED USES
Small lot, higher density single family detached homes, alley-loaded preferred
Duplexes
Triplex mansion homes
Paired-Z
Clustered SFD
Townhomes
Apartments
Senior apartments, active adult and semi-independent (subject to CUP)
Child care facility (subject to a CUP)
Neighborhood pocket parks, tot-lots and open space amenities
Internal pedestrian trails and bike paths

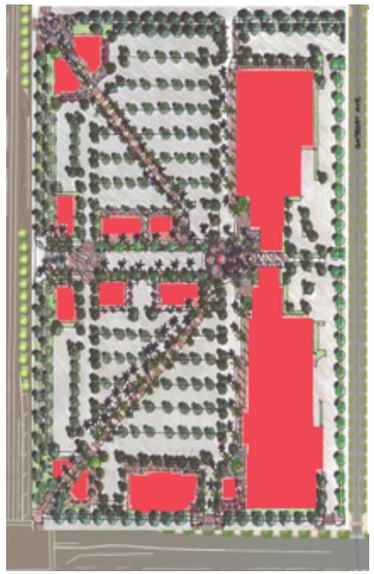
ACCESSORY USES		
Walls and Fences	3'-6'	No block walls adjacent to collector roads. No wall over 3' in required front yard.
Carports		Architecture to match neighborhood theme. Lattice also acceptable
Trash Enclosures		Architecture to match neighborhood theme
Parking and pedestrian lot lights to utilize Heritage Grove street and paseo standard		

Townhomes

Townhomes

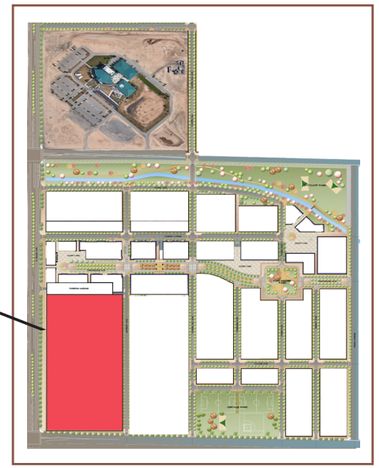
Planning Area 9 - Neighborhood Commercial Center

Planning area 9, the Neighborhood Commercial center, provides conveniently accessible basic amenities and services to residents in the Heritage Grove City Center South. The center should be pedestrian oriented, with linkages to parks, trails and Main Street Promenade to the North. A grocery store and drug store will anchor the center, accompanied by a series of mid and small-sized shops and restaurants. Outdoor dining and covered seating areas should be available. The center is intended to serve community-oriented needs and will not have components intended to serve a much broader regional market. Commercial development should be intimate and small scale thereby allowing integration with residential uses. The center should provide functional outdoor spaces, trellis elements, screening of service and loading areas from residences and unified architectural and landscape themes consistent with the overall community theme.



Planning Area 9-Conceptual Illustrative

Key Map



Development Standards

DESIGNATION	
General Plan	Neighborhood Commercial Center
Base Zoning District	P-C-C
Density Range	N/A

BUILDING INTENSITY		
Minimum Lot Area	15,000 SF	
Minimum Lot Width	100'	
Minimum Lot Depth	150'	
Maximum building height	35'	2-stories
Maximum lot coverage	33%	See Clovis code- subsection E of section 9.3.214.5
Maximum F.A.R.	1.0	

BUILDING SETBACKS (From Property Line)		
Front yard to Willow, Bymaher, and Gateway ROW	10'	
Side yard	N/A	
Corner side yard	N/A	
Rear yard	N/A	

PERMITTED USES
General retail, including, bicycle shops, book stores, carpet sales, clothing and shoe stores, drug stores, florists, gift shops, hobby and craft stores, music and video stores, boutique retail, etc.
Business, professional and medical/dental offices, included veterinary clinics
Restaurants, bakeries, delis and ice cream parlors
External trails and bike paths
Bars, cocktail lounges (subject to CUP)
Health clubs, gyms (over 5,000 SF subject to CUP)
Financial institutions and banks (drive-through subject to CUP)
Service, including barbers and beauty salons, laundry and photography studios
Drive-through pharmacy (subject to CUP)
Gas stations (subject to CUP)

PROHIBITED USES
Drive up/through restaurants, auto service stations, residential units

ACCESSORY USES		
Walls and Fences	5'-6'	No block walls adjacent to Willow or Byhamer
Trash Enclosures	Architecture to match neighborhood theme	
Parking and pedestrian lot lights to utilize Heritage Grove street and paseo standard		

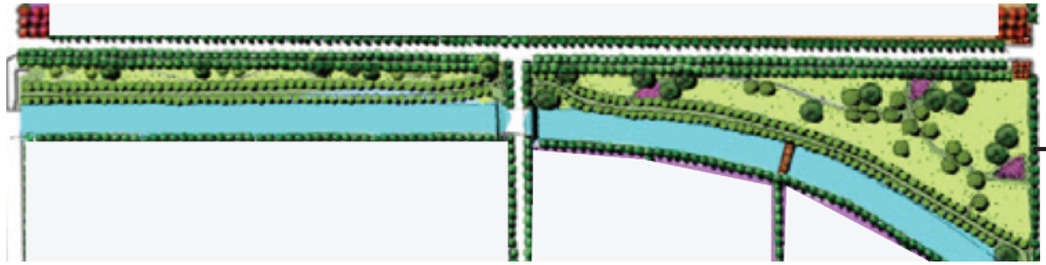
PEDESTRIAN and VEHICULAR CIRCULATION	
Sidewalks	Minimum 10' sidewalk along storefronts
Alleys and service roads	25' ROW, see street sections

PARKING	
USE	PARKING REQUIREMENT
All uses (Parking requirements for some uses may be subject to parking review)	0-20,000 square feet - 5.4 per 1,000 gross building area 20,000-70,000 square feet - 5.0 per 1,000 gross building area 70,000 square feet and over - 4.7 per 1,000 gross building area

MINIMUM BUILDING SEPARATION		
Front to Front, Front to Side, Front to Rear OR Rear to Rear	1-story 10' 2-stories 15'	Please review latest applicable building code for construction and fire wall requirements.
Side to side	0'	

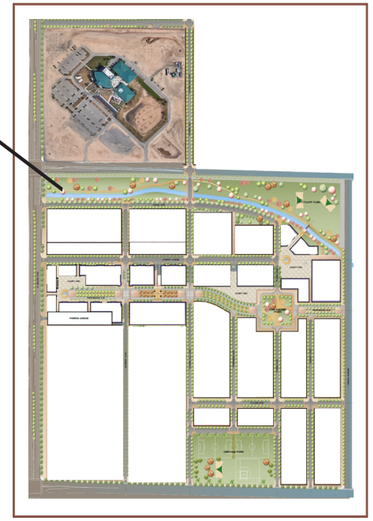
Public Area 1 - North Park

Public area 1, North Park is located along Enterprise Canal Trail and serves as a focal point of the City Center Village North. It's proximity to the Main Street Promenade and entertainment district to the south makes this area ideal for sports facilities, a community recreation area, tot-lot and passive open space opportunities, such as multipurpose trails and seating areas.



Public Area 1-Conceptual Illustrative

Key Map



Development Standards

DESIGNATION	
General Plan	Public Facility
Base Zoning District	P-F
Density Range	N/A

BUILDING INTENSITY		
Minimum Lot Area	N/A	
Minimum Lot Width	N/A	
Minimum Lot Depth	N/A	
Maximum building height	25'	2-stories
Maximum lot coverage	40%	

BUILDING SETBACKS (From Property Line)	
Front Yard	20'
Side yard	15'
Corner side yard	20'
Rear yard*	20'

MINIMUM BUILDING SEPARATION		
Front to Front, Front to Side, Front to Rear OR Rear to Rear	2-stories 15' 3-stories 20' 4-stories 25'	Please review latest applicable building code for construction and fire wall requirements.
Side to side	0'	

PERMITTED USES
Public and Quasi-public buildings
Amphitheatre
Swimming Pool
Open space amenities, trails, bike paths
Court games
Parking facilities

PEDESTRIAN and VEHICULAR CIRCULATION	
Local Roads	36'-40' ROW See Street sections

PARKING	Per Site Plan review

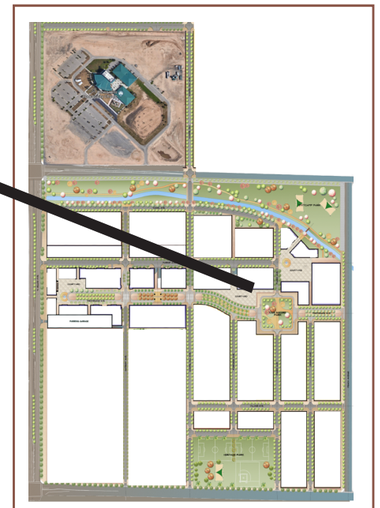
ACCESSORY USES
Parking and pedestrian lot lights to utilize Heritage Grove street and paseo standards

Public Area 2 - Town Square Park

Public area 2, Town Square Park is located in the heart of the entertainment district in the City Center Village North; provides an ideal community recreation area, fountains and passive open space opportunities, such as multipurpose trails and seating areas connecting pedestrian across both villages.

Public Area 2-Conceptual Illustrative

Key Map



Development Standards

DESIGNATION	
General Plan	Public Facility
Zoning	P-F
Density Range	N/A

BUILDING INTENSITY		
Minimum Lot Area	N/A	
Minimum Lot Width	N/A	
Minimum Lot Depth	N/A	
Maximum building height	25'	2-stories
Maximum lot coverage	40%	

BUILDING SETBACKS (From Property Line)	
Front Yard	20'
Side yard	15'
Corner side yard	20'
Rear yard*	20'

MINIMUM BUILDING SEPARATION		
Front to Front, Front to Side, Front to Rear OR Rear to Rear	10'	Please review latest applicable building code for construction and fire wall requirements.
Side to side	0'	

PERMITTED USES
Public and quasi-public buildings
Church, synagogue or other place of worship (subject to CUP)
Swimming pool
Open space amenities, trails, bike paths
Parking facilities
Child care facility (subject to a CUP)

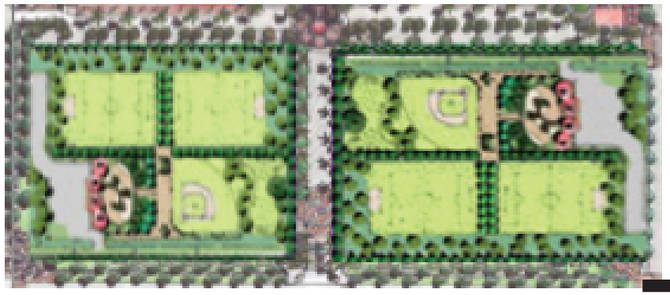
PEDESTRIAN and VEHICULAR CIRCULATION	
Local Roads	36'-40' ROW see street sections
Alleys	25' ROW, see street sections

PARKING	
Public/quasi public buildings	1 per 250 SF
All other uses	Subject to Site Plan Review

ACCESSORY USES
Parking and pedestrian lot lights to utilize Heritage Grove street and paseo standards

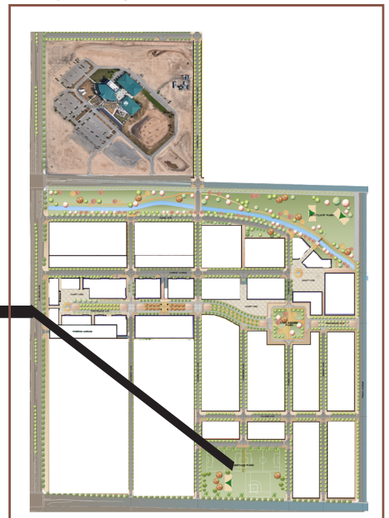
Public Area 3 - Heritage Park

Public area 3, Heritage Park is located south of Public Area 2 and provides for active and passive open spaces, including a community festival facilities and open space. The Heritage Park will be a major focal point of the community with a historic structure to preserve the unique culture and history of Clovis.



Public Area 3-Conceptual Illustrative

Key Map



Development Standards

DESIGNATION	
General Plan	Public Facility
Zoning	P-F
Density Range	N/A

BUILDING INTENSITY		
Minimum Lot Area	N/A	
Minimum Lot Width	N/A	
Minimum Lot Depth	N/A	
Maximum building height	25'	2-stories
Maximum lot coverage	40%	

BUILDING SETBACKS (From Property Line)	
Front Yard	20'
Side yard	15'
Corner side yard	20'
Rear yard*	20'

MINIMUM BUILDING SEPARATION		
Front to Front, Front to Side, Front to Rear OR Rear to Rear	10'	Please review latest applicable building code for construction and fire wall requirements.
Side to side	0'	

PERMITTED USES
Public and Quasi-public buildings
Amphitheater
Open Air Performing Arts Facilities
Open space amenities, trails, bike paths
Parking facilities
Child Care Facility (subject to a CUP)

PARKING	
Public/quasi public buildings	1 per 250 SF
All other uses	Subject to Site Plan Review

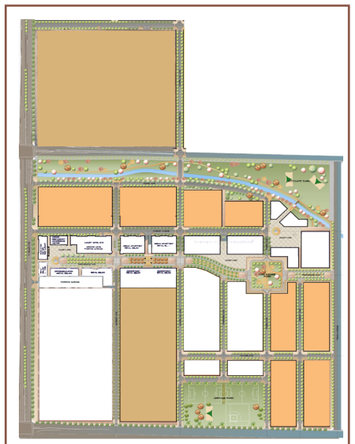
ACCESSORY USES
Parking and pedestrian lot lights to utilize Heritage Grove street and paseo standards

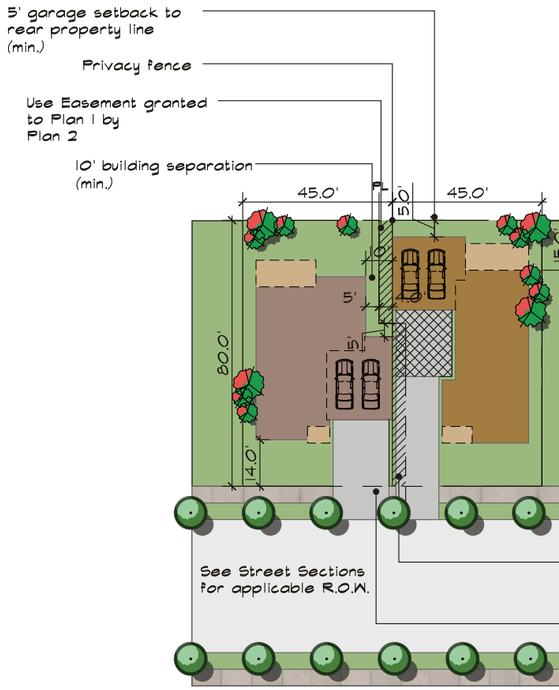
SAMPLE HOME TYPES

Paired-Z Single Family Detached homes allow for a larger home on a smaller lot while still providing a pleasant street scene. Paired-Z homes are nested pairs of homes that utilize a reciprocal use easement. Homes are conventionally plotted, but the lot line staggers like a "Z" through the centerline of the two properties. The reciprocal use easement follows this "Z" pattern, allowing for a recessed garage for one of the units. The result is a varied street scene and more useable private yard space for each unit.

Paired-Z Street Scene

Key Map

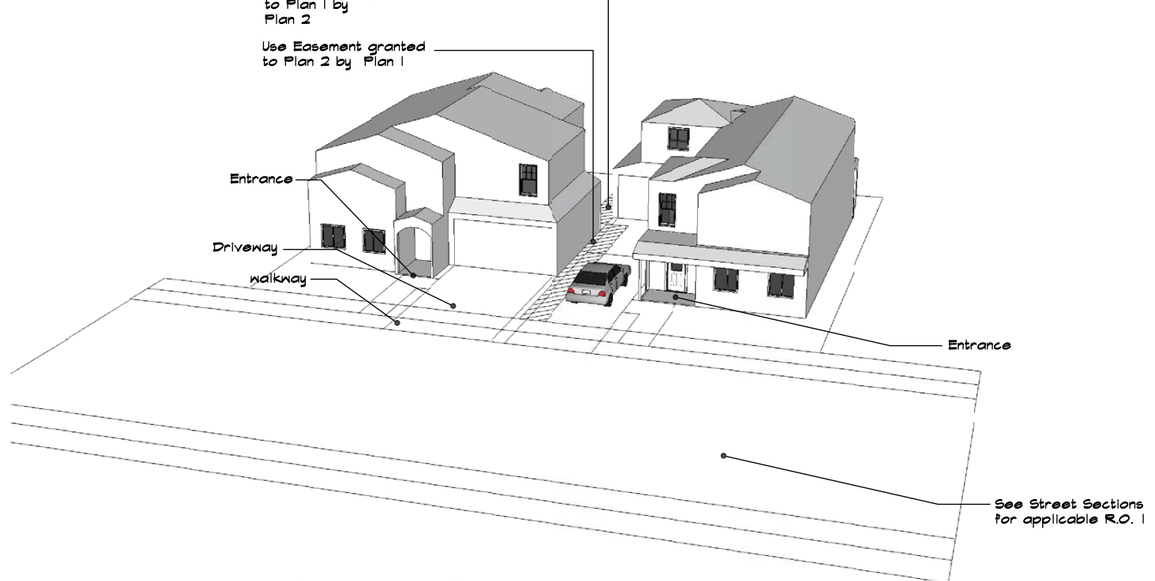




NOTES

1. Plan 1 and Plan 2 must be designed as a nesting pair. Consequently plotted adjacent in the tract.
2. Other "Pairs" like Plan 3 and 4 will be similarly plotted.
3. Use-Easement is prepared by a Civil engineer. This document is attached to the deeds of trust for adjoining paired lots.
4. Maintain fire rated wall construction and opening protection according to the applicable building code.

Paired-Z SFD Typical Layout

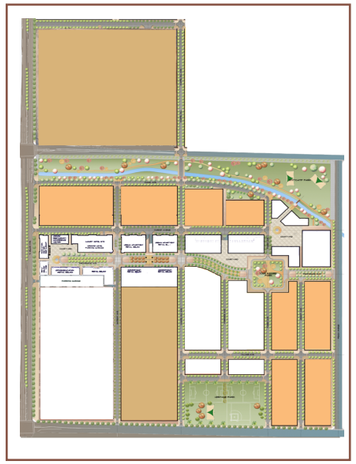


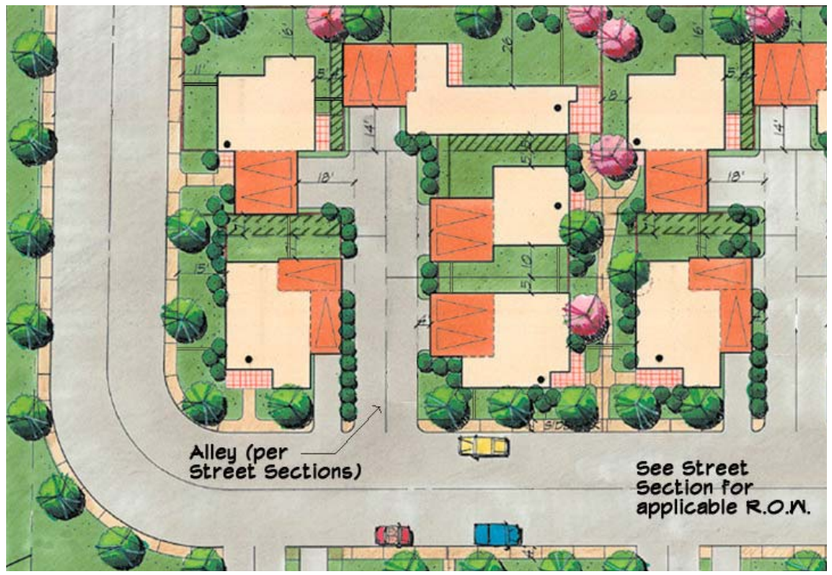
Paired-Z SFD Massing

Single Family Detached Cluster concepts allow for the charm and scale of a small town while reducing the requirements for infrastructure development. Clusters modules can range from 4 to 8 or more homes and may be semi-attached or detached. Homes may be grouped around a shared motor court or alley with the front door taking access off the motor court or a common green. Homes may be one or two stories.

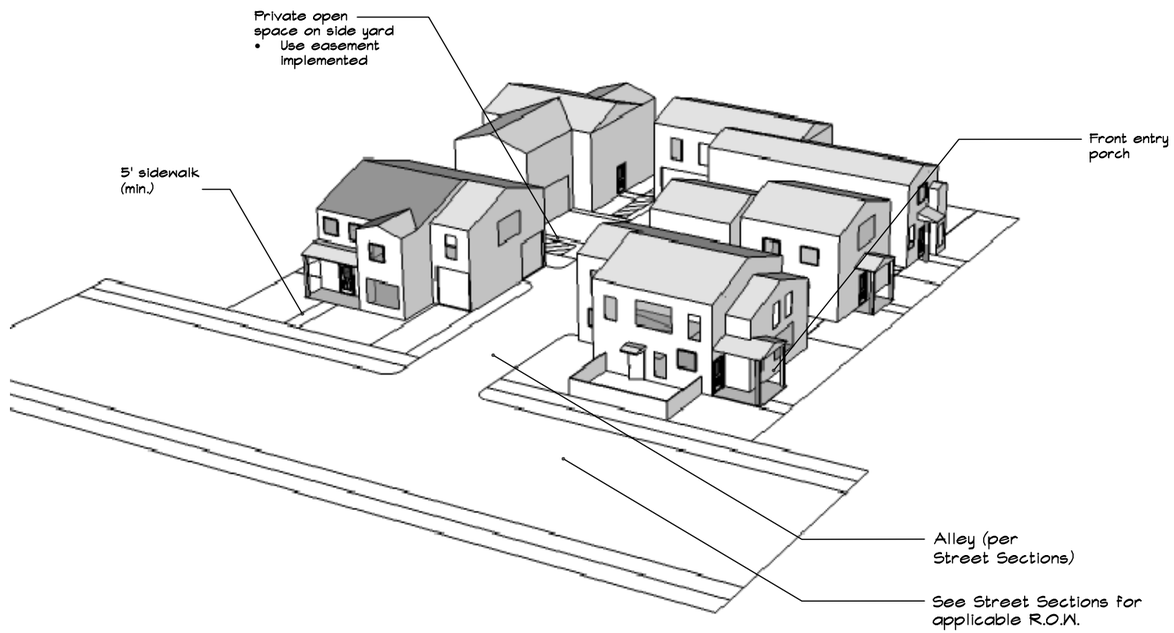
Auto Court SFD Cluster Street Scene

Key Map





Reversed SFD Cluster

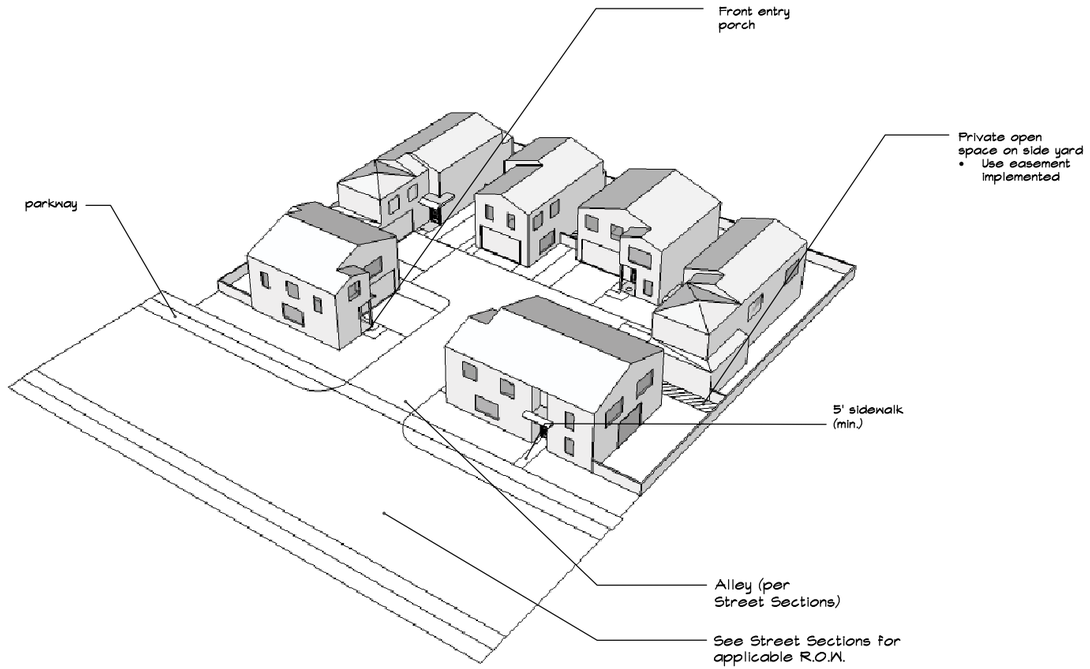


Reversed SFD Cluster Massing Model

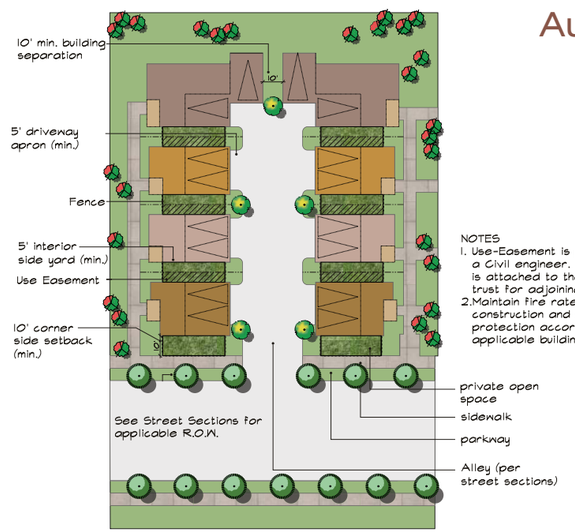
SFD Clusters (cont.)

NOTES
1. Use-Easement is prepared by a Civil engineer. This document is attached to the deeds of trust for adjoining paired lots.
2. Maintain fire rated wall construction and opening protection according to the applicable building code.

Auto Court SFD Cluster

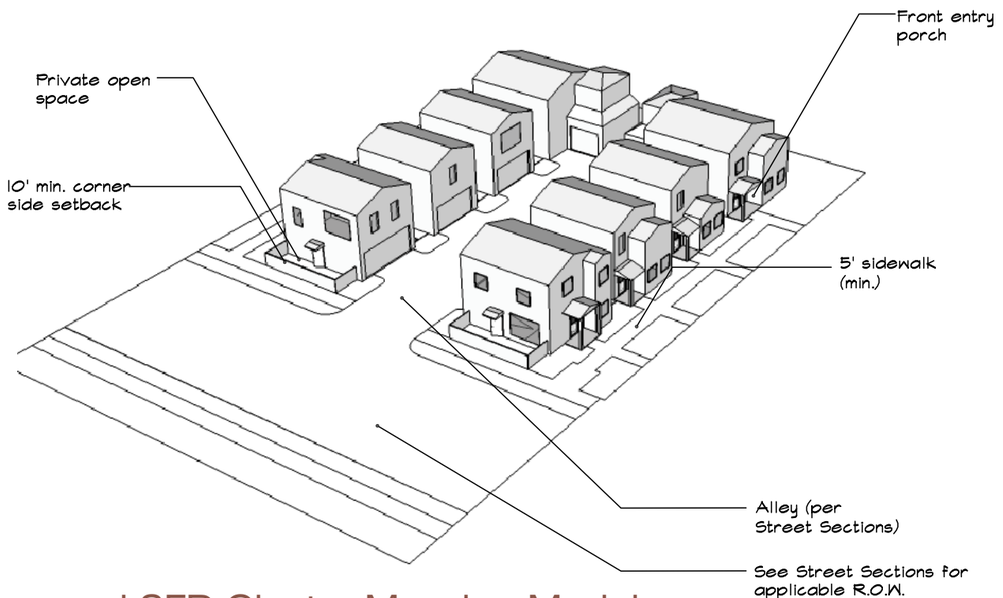


Auto Court SFD Cluster Massing Model



NOTES
1. Use-Easement is prepared by a Civil engineer. This document is attached to the deeds of trust for adjoining paired lots.
2. Maintain fire rated wall construction and opening protection according to the applicable building code.

Reversed SFD Cluster

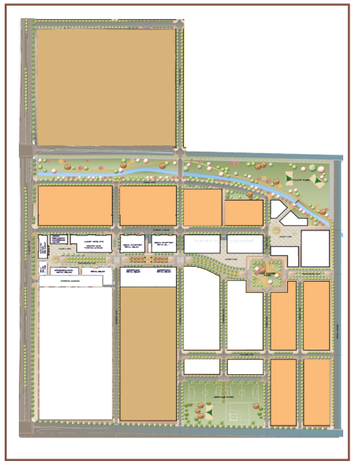


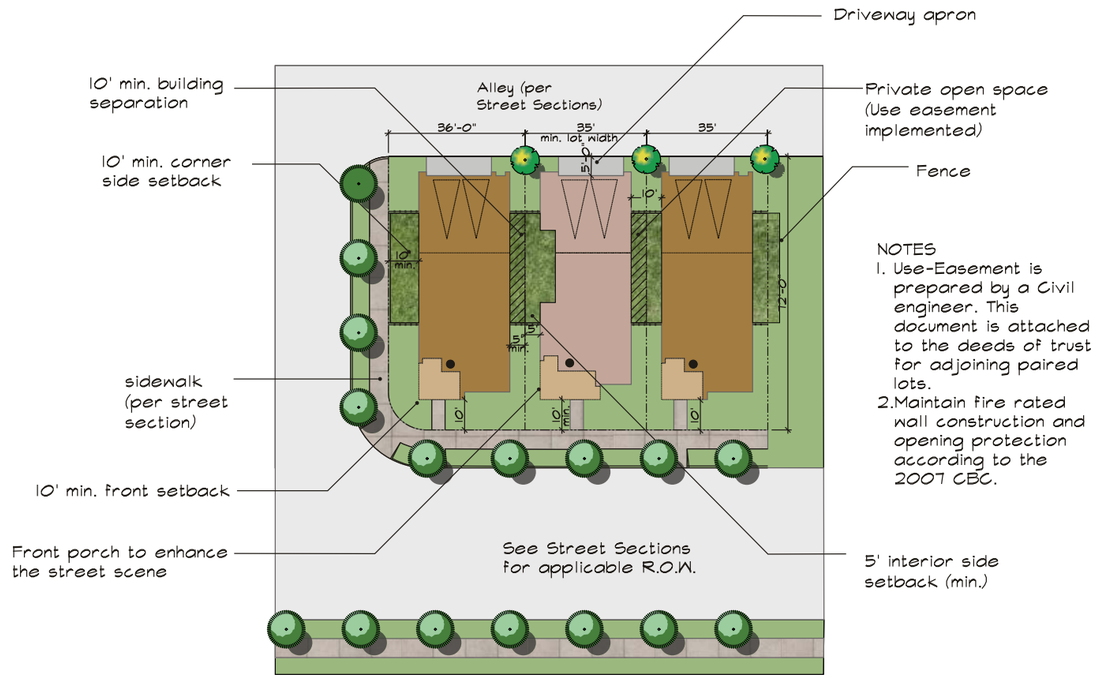
Reversed SFD Cluster Massing Model

Small lot, alley-loaded homes allow for Single Family Detached homes at higher densities. Alley-loaded homes enjoy grand front porches which dominate the street scene. Corner lot conditions should be treated with wrap around architecture and one story elements. Use easements are employed to create larger, more functional private yards.

Rear Loaded SFD Street Scene

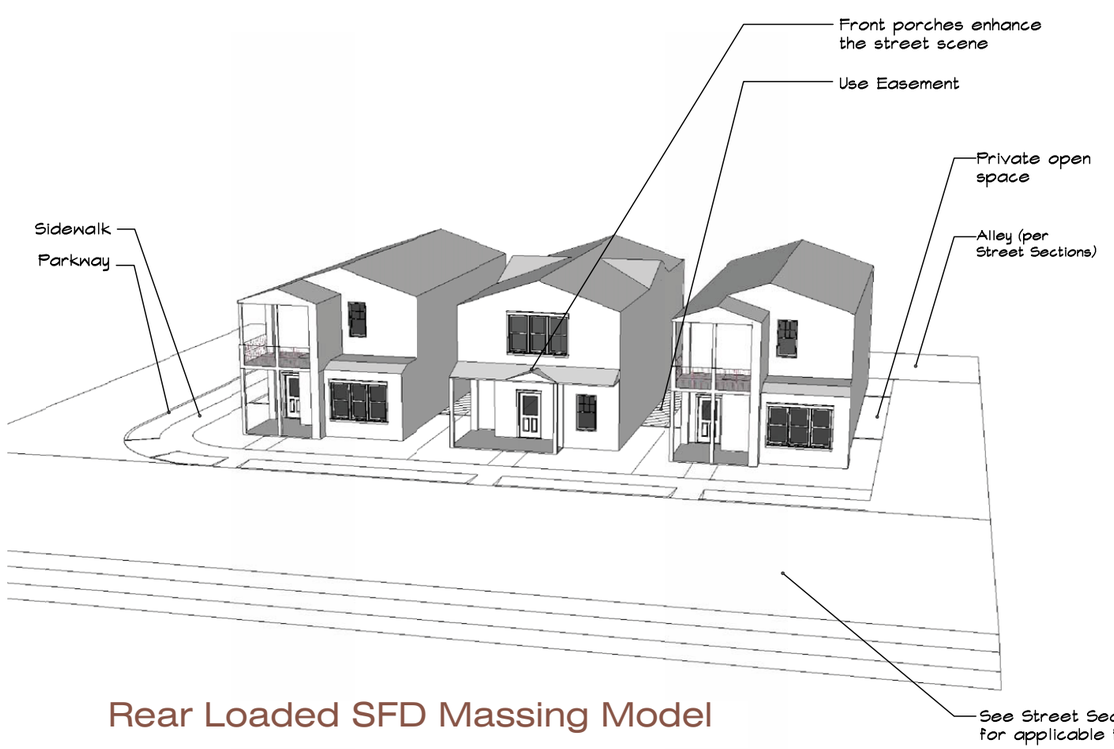
Key Map





NOTES
1. Use-Easement is prepared by a Civil engineer. This document is attached to the deeds of trust for adjoining paired lots.
2. Maintain fire rated wall construction and opening protection according to the 2007 CBC.

Rear Loaded SFD

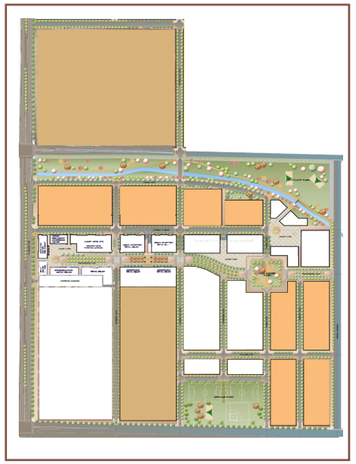


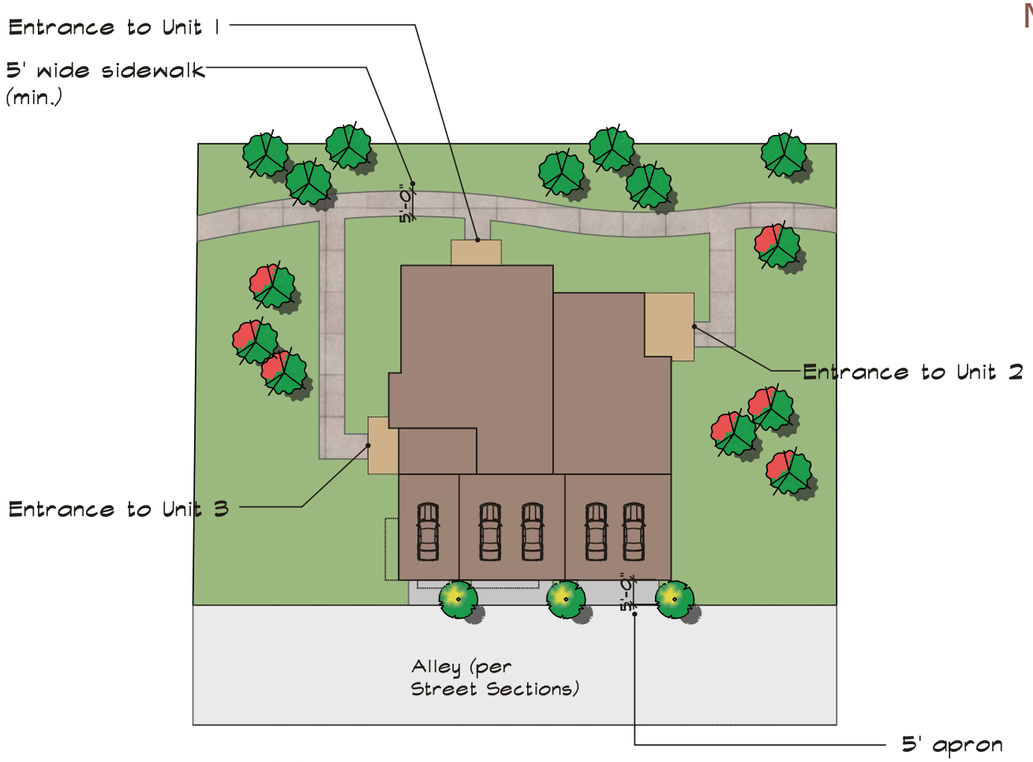
Rear Loaded SFD Massing Model

Mansion homes are single family triplexes that give the appearance of single family detached homes. Each unit has a private entrance on a single elevation of the building, with the garages at the rear loading off an alley. Private open space is provided within courtyards at or near each unit's front door. These courtyards should be connected to the community trail and walkway system.

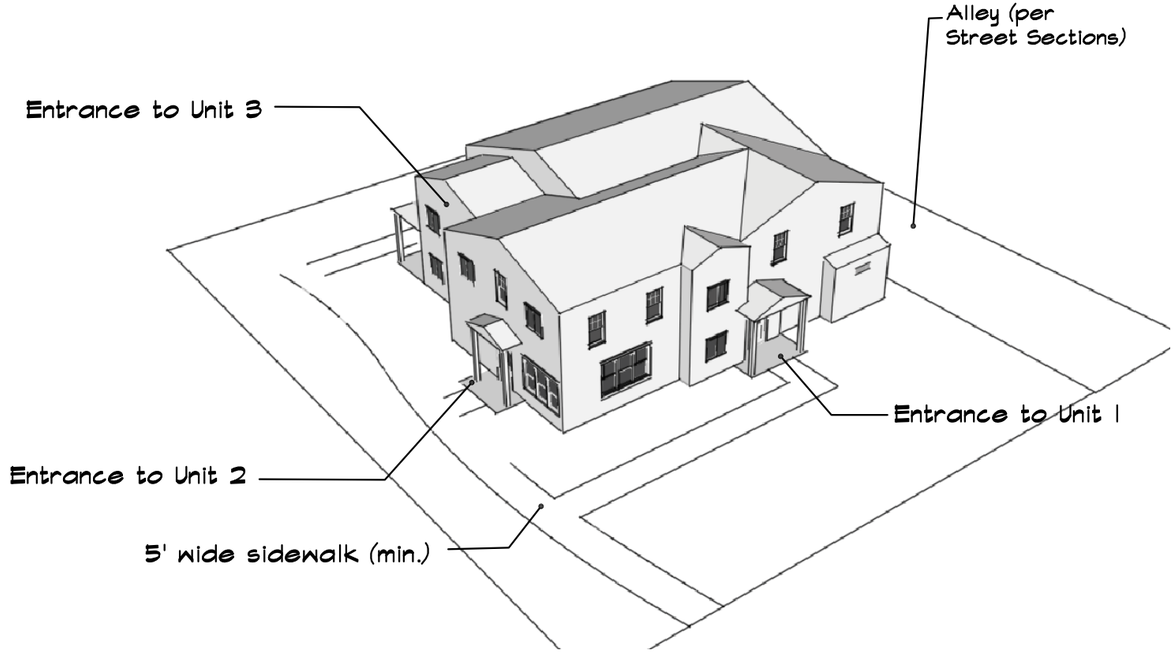
Mansion Home Front Elevation

Key Map





Mansion Home Layout

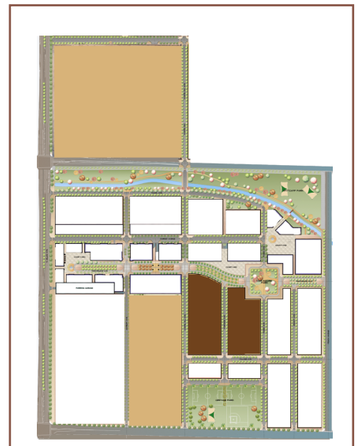


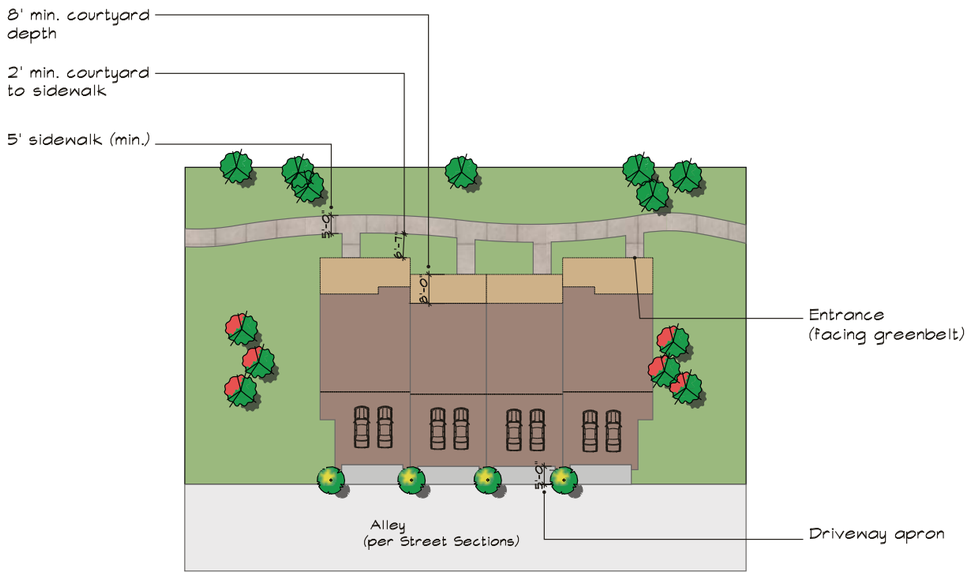
Mansion Home Massing Model

Townhomes are single family attached units in two and/ or three story buildings. Buildings may be arranged in configurations ranging from 3 to 12 units. Units should provide a minimum of 100 square feet of private open space, preferably in a ground floor patio with a minimum dimension of 8 feet.

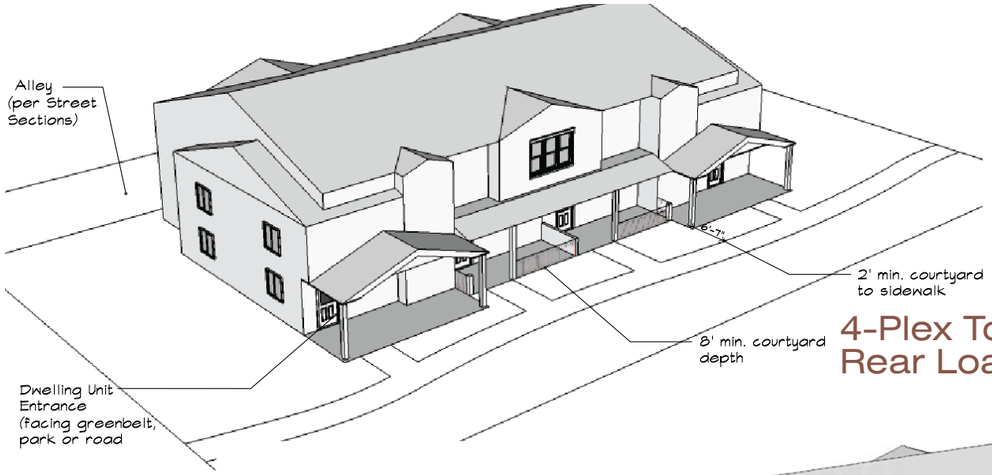
Townhome Front Elevation

Key Map





4-Plex Townhome-Rear Loaded Typical Layout



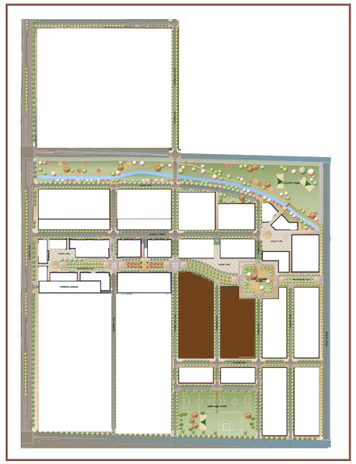
4-Plex Townhome Two story- Rear Loaded Massing Model

4-Plex Townhome Three story- Rear Loaded Massing Model

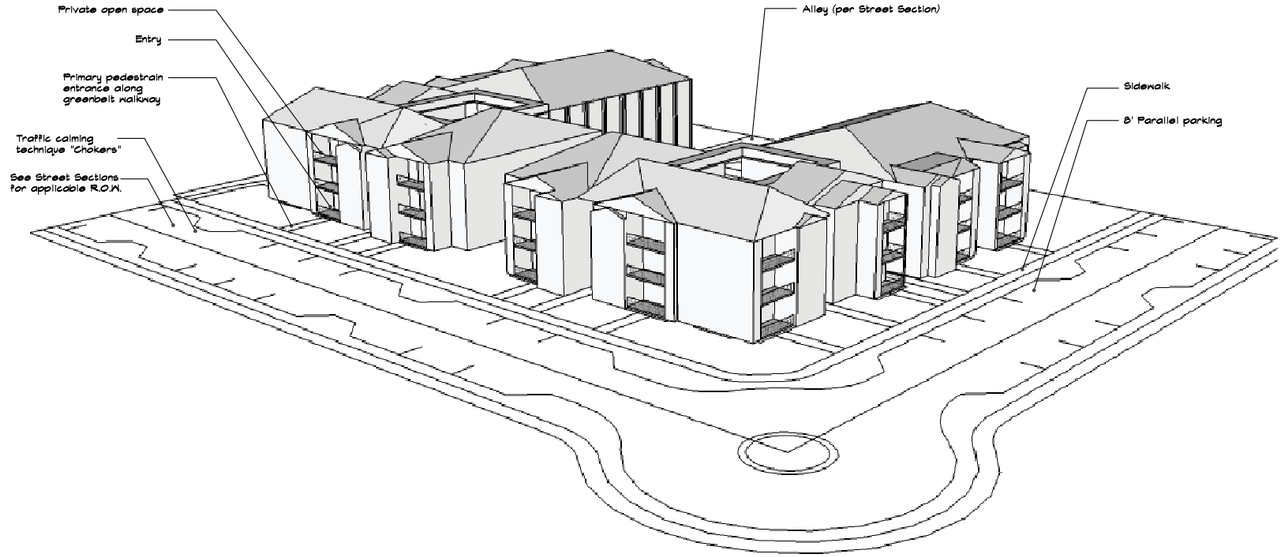
Stacked flat units are appropriate uses in planning areas designated for high and very high density. Units may be apartments, condominiums or townhomes. Buildings can go up to four stories. Units should contain a minimum of 100 square feet of private open space per unit. Private open spaces may be located in private decks, porches, balconies or patios.

Stacked Flat Street Scene

Key Map



Multi-Family Home Layout

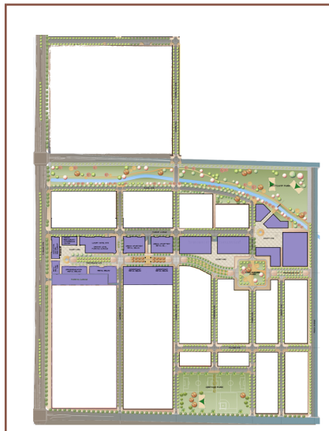


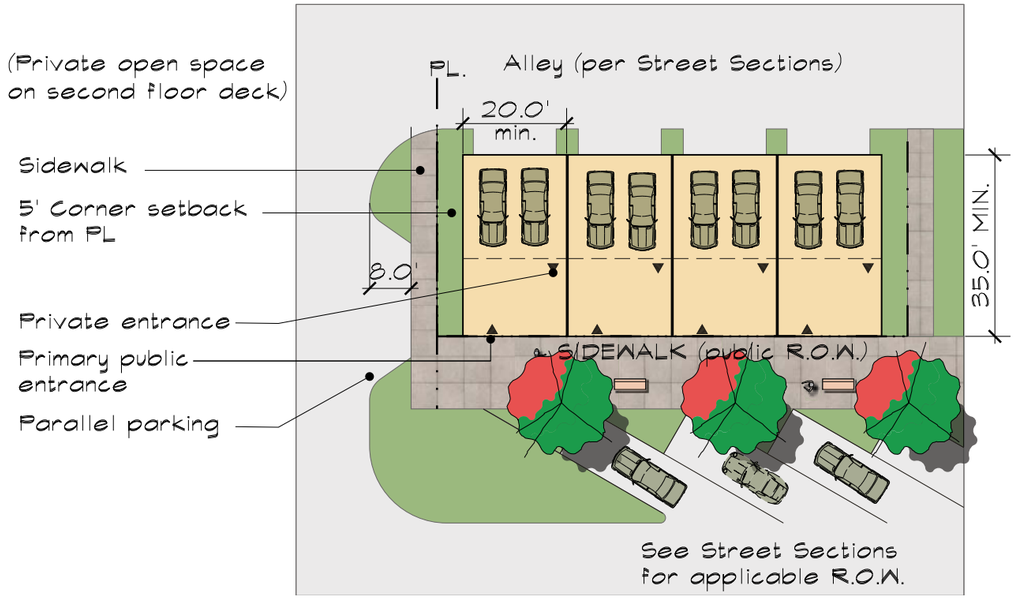
Stacked Flat Massing Model

Live-work units allow owners of specified small businesses to practice their profession within the comfort of their own home. Appropriate uses include offices for doctors, attorneys, architects and similar professions. Live-work units may be in attached or detached buildings.

Live-Work Street Scene

Key Map





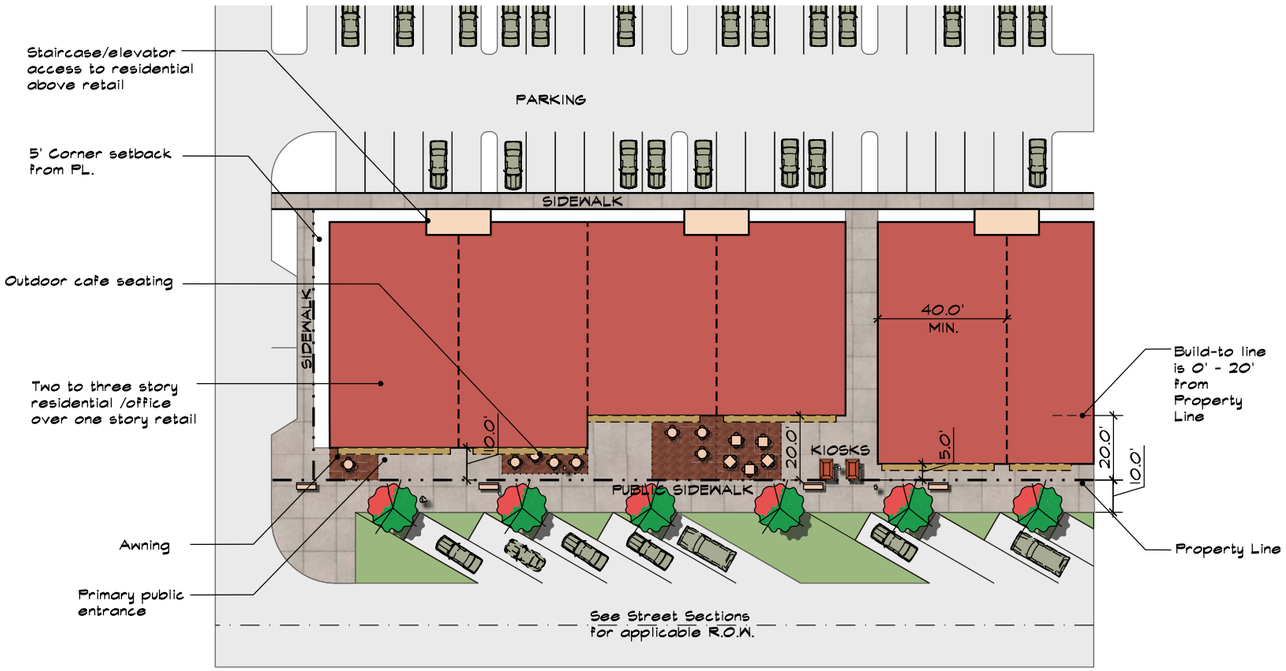
Live-Work Layout

Live-Work Massing Model

Mixed use buildings are integrated both physically and functionally: residential units and/or offices will be stacked above or adjacent to retail stores, restaurants and/or o ffices. Residents have convenient access to shopping, dining and services. Due to the high demand for parking within a limited amount of land, parking structures should be considered. Structures will be sited in a manner that establishes attractive and inviting places in order to form the basis for positive impressions and perceptions of the community.

Mixed Use Massing Model

Key Map



Mixed Use Layout

ARCHITECTURAL STYLES, DESIGN & GENERAL GUIDELINES

The Early California style is a free revival of the Anglo-influenced Spanish colonial houses of northern California. These are a blend of Spanish adobe construction & New England colonial style. Prior to the invention of this Monterey style most of the Spanish style homes were mainly single story construction. The earlier examples of these houses built in 1925 to 1940 tend to favor Spanish detailing and those from 1940's to 50's typically emphasize English colonial detailing.

Building Mass and Scale

- Simple two story building form.
- Usually U-shaped building mass frame enclosing courtyard.
- Second-story cantilevered balcony is a distinct element of this style. This is usually covered by an extension of the principal roof and supported by simple wood posts or corbels.
- Different wall cladding material on first and second story. Traditionally siding above with stucco or brick veneer below.
- Chimney is substantial and anchors the building to the ground.
- The main house volume maybe connected by a one-story breezeway to garage.

Roof Forms and Materials

- Low pitched gabled roof, occasionally hipped.
- Main gabled roof front to back with one or more intersecting front facing gable roofs.
- Main gable roof with 4:12 to 6:12 roof pitches with shed roof break over balcony at 2½ :12 to 3 ½:12 roof pitches.
- Roof materials to be fire resistant clay tile with or without mud set, flat clay tile or concrete "S" tile.
- 12" to 24" overhangs with exposed wood rafter tails or wood fascia with shadow board.

Architectural Elements

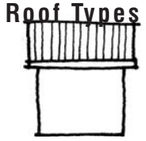
- Wood corbels support for the cantilevered balconies.
- Wood railings for balconies.
- Square wood posts, corbels, beams and rafter tails.
- Square or rectilinear window shapes with standard divided lite configurations
- Window tops can be arched, on selected windows, according to the design.
- Extensive use of shutters.
- Recessed entry way and garage doors.
- Ornate chimney top trim.
- Colonial style window and door trim.
- Decorative wrought iron accents.

Materials and Colors

- Stucco exterior walls with light to medium sand finish.
- White or dark brown trims and balconies.
- Dark accents on doors and shutters.

EARLY CALIFORNIA Elements

Roof Types



Side facing gable

Front facing shed

Front facing gable

Vents

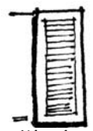
Standard clay pipe +/- 3" diameter

Mission clay tiled stacked in opening extended minimum 1" from face and screen behind

Window Shutters

Projecting wood, stone or concrete sill

Projecting brick step sill



Wood or composite trim

Balconies

Continued roof at cantilever balcony

Tile roof extends over wood balcony

Bracket support

Corbels

2nd level cantilever over wood or precast concrete corbels

Shaped wood corbel on masonry

Shaped wood corbel on wood poststone column

Early California Photographic Examples

Mission style is inspired by the Spanish missionaries built in the southwest in the late 17th century. Several California architects began to advocate this style in 1880's as traditional style of architecture for California. By early 1900's it became a prominent style throughout the southwest. The style was considered the "California counterpart" to the Georgian-inspired Colonial Revival popular in the Northeast. Mission style homes are characterized by bold arch openings, smooth stucco walls, porches and sculpted decorative walls and mission shaped roof parapets.

Building Mass and Scale

- Simple two story building form.
- Single story porte-cochere, garage/carriage house or entrance elements.
- L or U-shaped building mass frame enclosing courtyard.
- Interior courtyard maybe surrounded by corridor or veranda.
- Formal geometric forms with strong wall planes punctuated by arched openings.
- Raised entry with decorative paving edge details for the steps.
- One story porches at the entry area or covering the full width.
- Porch roof supported by large square piers, arched above.

Roof Forms and Materials

- Low pitched gable, hip or shed roof.
- Main roof with 4:12 to 5:12 roof pitch with shed roof break over balcony at 3 ½ :12 to 4 ½:12 roof pitches.
- Wide eave overhangs, usually opened, often with exposed rafters.
- Wood fascia boards, rafters and soffit brackets.
- Roof materials to be fire resistant two-piece clay tile with or without mud set, flat clay tile or concrete "S" tile.
- Round tile attic vents

Architectural Elements

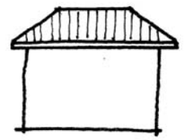
- Sculpted stucco walls and roof parapets with pre-cast looking caps.
- Masonry or pre-cast looking window sills.
- Segmented or elliptical arched arcades.
- Round pre-cast concrete columns, or stucco pilasters with decorative cornice trim.
- Recessed windows with sloped sills.
- Mostly segmented or elliptical arch top windows with custom divided lites or square or rectilinear window shapes with standard divided lite configurations.
- Quatrefoil windows in the parapet walls.

Materials and Colors

- Stucco exterior walls with smooth to light sand finish.
- Smooth white washed stucco surfaces.
- Dark accents on doors, shutters and trims.

Mission Revival Elements

Roof Types

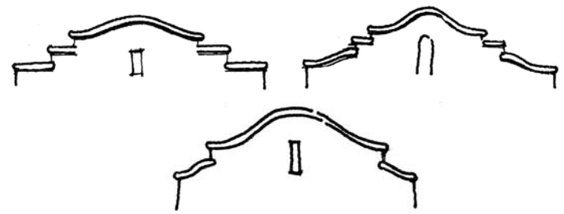


Rectilinear Hip

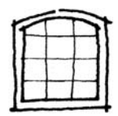
Clipped corner

Combination flat roof & gable roof with sculpted

Parapet & Dormer Sculpting



Windows Shapes

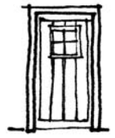


Flattened or segmented arch

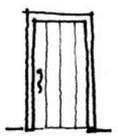
Custom Curvilinear shape

Quatrefoil

Doors



Small square



No glass

Small glass

Chimneys

Stucco and clay cap double flue

Stucco & tile arch opening at gable & side

Stucco with mexican brick cap or stucco

Mission Revival Photographic Examples

Site Planning and Orientation

- Each Planning Area shall include a variety of housing types and styles. Neighborhoods within the development will be designed to orient buildings to streets and public parks.
- Corner lots should have careful architectural detailing or wrap-around porches for elevations facing public streets.
- Developed, public and common open spaces should be embedded into lot and block patterns and may be of a wide variety of sizes including small "pocket" parks and plazas.
- Smaller urban common areas should be accessible, well lit, and should have maximum visibility into the area from adjacent streets.
- Attached units shall provide 100 square feet of private open space per unit. Private open spaces should be located in private decks, porches, balconies and patios may count for up to one-third of the required open space.
- As long as street frontage and access is maintained, rear yards facing open spaces are strongly discouraged.
- Important views and vistas, both natural and man-made, should be used as opportunities to create edges or to align public spaces and corridors to enhance the quality of the public experience.
- Where development is phased, early phases should establish the long-term image of the project and its relationship to the street. Where early phases of a development project are not appropriate on street or open space frontages, the plan should indicate how a positive street or open space relationship will be achieved in subsequent phases.

Homes oriented towards green belt

Common open space areas

Corner lot-wrap around porch

Recessed garage door

Private open space areas

Combination of 1 and 2 story elements

Garages

- Garage doors shall be adequately setback to allow driveway parking that keeps the sidewalk clear of vehicles at all times.
- Garage location, configuration and access shall be dictated by the type of garage and the building type/lot size to which it is associated.
- Side-drive garages are allowed.
- Varied garage placements are encouraged to break up the monotony of all garage doors being parallel to the street.
- A variety of compatible garage door designs shall be used throughout a project to ensure variety. The design of the garage door shall relate to the particular architectural style elected for the structure.

Mass and Scale

- The mass and scale of each structure shall relate to the use of the structure as a single-family residence and shall not overwhelm or dominate its surroundings.
- Combinations of one and two-story elements on the same building are encouraged to create visual diversity.
- Building mass should reflect a reasonable relation to the size of the lot.
- Architectural elements such as chimneys, balconies, porches, and pot shelves are encouraged to be provided for visual diversity.
- Balconies, gables, eaves and other projections may be used to break up simple architectural forms.
- Courtyards, if appropriate to the style, may be used to break up the building mass.

Facade and Roof Articulation

- The articulation of facades and the massing of structures give them richness and scale. Long uninterrupted exterior walls in excess of thirty feet shall be generally avoided on all structures which are visible from the public streets and public areas. Larger wall and roof planes are encouraged to include three (3) dimensional features such as porches, balconies, bay window, dormers and similar features.
- Gable, hip or shed roof forms should be utilized, consistent with the architectural style of the building.
- Roof pitch may vary from 3:12 to 5:12 according to the style.
- Varied plate heights and ridge heights may be used to create offsets in the ridge line to better articulate roof forms and building massing.
- The overall roof form of each dwelling unit shall be designed to be simple and compact.
- Visual variety of dwelling units within the development can be achieved with roof forms, overhangs and shading devices that relate to the solar orientation of a lot. This results in a more livable and energy efficient home and brings a subtle and natural variety to a neighborhood's streetscape.

Balcony

Shutter accent color

Combination of gable, hip and shed roofs

Front porch

Varying roof heights

Front porch

Materials and Colors

- Materials and colors shall be consistently applied on all facades of a structure visible from adjacent streets and should work harmoniously with adjacent materials and architectural styles.
- Varying the roof and building colors from dwelling to dwelling is encouraged.
- Building materials and colors should compliment the corresponding architectural style and natural environment surrounding the project.
- Stucco and natural or artificial stone having the necessary fire retardant characteristics, are encouraged for exterior surfaces.
- Accent color should be used for shutters, awnings, trim, fascia, balcony rails, inlaid tile bands or cornice bands, and should relate to the architectural form and character of the building.

Entries

- Porches are encouraged to be covered and shall extend at least six feet along the front wall of the house, not including the garage face. Porches may be raised or at ground level.
- Entries may be accompanied by a projecting overhead element such as a shed, arch, or gable providing roof coverage and weather protection. Entries shall be an integral architectural feature compatible with the main structure.

Site Planning and Orientation

- Site buildings to take advantage of open space views, courtyards or recreational facilities.
- Units located adjacent to streets must face onto the street, or may be grouped around a central green in a configuration which as a whole fronts the street.
- Multi-family units shall consistently be clustered throughout the site plan. The following design techniques shall be implemented whenever possible:
  - Varying front setbacks within the same structure;
  - Maximum of two (2) adjacent units with identical wall and roof lines (must have differing exterior treatment);
  - Variety of orientations to avoid the monotony of garage door corridors.
- Multi-family buildings should be oriented toward the street, with entry features such as front porches that provide direct access to the street.
- Multi-family developments surrounded by high walls, parking lots and rows of carports or garages are discouraged. Communities should not be walled-in.
- Parking areas should be located at the rear of units.

Parking, Garages and Carports

- Large, monotonous and undivided parking lots shall not be permitted in multi-family projects. Parking areas shall be located to the rear of residential structures or within the interior of the development to reduce their visual impact on the streetscape.

Homes facing village green

Garages located at rear

Varying front setbacks within the same structure

Buildings facing recreational facilities

Parking courts screened by landscape planter

Garages accessible from alleys in the rear

- Parking courts shall be screened from view of adjacent streets by a landscape planter in such cases and shall not be located closer to the street than the street facade building line of the principal residential structure.
- Parking lots should be designed and lighted to ensure pedestrian safety.
- Parking driveways, when located on the periphery of a project, isolate the development from its surroundings. Unless the new and existing adjacent uses are considered incompatible, perimeter parking driveways are discouraged.
- Parking areas shall be conveniently located to the units they serve.
- Guest parking should be distributed throughout the development and clearly identified.
- Each six (6) spaces of parking shall be separated from additional spaces by a landscaped peninsula. Architectural elements, such as trellises, porches or stairways may extend into these landscaped peninsulas.
- There shall be no more than an average of ten (10) spaces of uninterrupted parking, whether in garages, carports or open parking areas.
- Individual parking garages within residential structures shall be enclosed with garage doors.
- Dwellings that front public streets shall have garages accessible from alleys in the rear.
- Trash enclosures should be architecturally integrated with the community.
- Trash enclosures shall be distributed throughout a development and sited to allow vehicular access from waste management vehicles.
- Carports and garages shall be architecturally integrated with the community.
- Carports may be incorporated with patio walls or used to define public and/or private open space. Carports shall be landscaped if visible from public or private streets, or adjacent properties.

Mailboxes

- Groups of mailboxes shall be provided within the interior of multiple-family residential developments to maximize efficient pedestrian access.
- Mailboxes should be architecturally integrated with the community.

Usable Open Space

- Residents of housing projects shall have safe and efficient access to usable open space, whether public or private, for recreation and social activities. The design and orientation of these areas should take advantage of available sunlight and be sheltered from the wind, noise and traffic on adjacent streets, and incompatible uses.
- Common open spaces shall be conveniently and centrally located to the majority of units in the development to promote a sense of community.
- Common usable open spaces and children's play areas shall be visible from individual units and be connected to the internal pedestrian system in the development.
- Private open spaces shall be contiguous to and have direct pedestrian access from the units they serve.

Varied Massing

Private open space

Tot lot

Enhanced front entry

Mailboxes

Dwelling Unit Access

- The use of distinctive architectural elements and materials to denote individual entrances is encouraged.
- The use of long, monotonous access balconies and corridors which provide access to five (5) or more units shall be avoided. Instead, access points to units should be clustered in groups of four (4) or less.
- Entrances to individual units shall be plainly visible from nearby parking areas and/or streets to the extent possible.

Mass and Scale

- Large monolithic forms should be avoided.
- Combinations of one, two and three-story elements on the same building are encouraged to create visual diversity.
- A one-story element at the end of buildings, especially at street corners, reduces the visual impact of the building mass.
- Architectural elements such as chimneys, balconies, porches, and potshelves (consistent with the architectural style) should be provided for visual diversity.

Facade and Roof Articulation

Long, unbroken facades and box-like forms shall be avoided for all multi-family units. Structures shall incorporate at least one of the following:

- When a project includes more than one building, roof forms should vary from one building to the next where practicable, in order to achieve visual interest and diversity.
- Roof pitch may vary, but generally be consistent with the architectural style. Shed roofs over porches or other building extensions may be lower in pitch.
- Varied ridge heights should be utilized to create offsets in the ridge line to better articulate roof forms and building massing.
- Roof colors and composition should vary within a project to add visual diversity.

Materials and Colors

- Building materials and colors should be consistent with the guidelines for the architectural style selected for the project.
- Stucco and combinations of stucco, stone or materials of a wood-like appearance, having the necessary fire retardant characteristics, are encouraged for exterior surfaces. Large areas of intense primary color will generally be avoided, as subdued colors are more appropriate as the structures dominant overall color.
- Wherever possible, minimize the number of colors that appear on the structure's exterior.

Varied roof heights and building mass

Project Entry

Color tiles for exterior stairs

Exterior stairs

- Accent color should be used for shutters, awnings, trim, fascia, balcony rails, inlaid tile bands or cornice bands, and should relate to the architectural form and character of the building.
- Materials selected for multi-family projects shall be very durable and require low maintenance.

Entries- see Gateways

- Project entries areas provide the resident and visitor with an overview to the project and create a positive identity for the development. They should provide an open window with landscaping, open space areas, and project directories.
- The principal vehicular access into a multi-family housing project shall be through an entry drive rather than a parking drive whenever possible. Colored, textured paving treatment at entry drives is encourage at a minimum depth of ten feet (10') located immediately behind the right of way.

Exterior Stairs

- When provided, simple, clean, bold projections of stairways are encouraged to complement the architectural massing and form of the multi-family structure.
- Stairways shall be of smooth stucco, plaster, or wood, with accent trim of complementary colors and railings appropriate to the architectural style of the residential structure.
- Thin-looking, open metal, prefabricated stairs are prohibited.

Site Planning and Orientation

- Sites and buildings should be designed with an understanding of their role in meeting the goals of the Planning Area, such as providing ground floor retail uses to provide pedestrian activity on the street.
- The front setback of commercial uses on collector or local streets may be paved as an extension of the pedestrian zone.
- Buildings should have a strong spatial and functional relationship with a unifying pedestrian connection.
- Functional outdoor areas can be created by outdoor plazas, outdoor dining areas, enhanced focal points and seating amenities. These areas should be linked by pedestrian walkways.
- Enhanced paved and landscaped pedestrian walks should be provided throughout.
- Outdoor spaces should have clear, recognizable shapes that reflect careful planning, not just left over areas between structures. Such spaces shall provide pedestrian amenities like shade, benches and fountains.
- Smaller in-line tenant spaces may be "saddle-bagged" onto the outside of large retail buildings to relieve large blank facades and provide activity fronting streets or parking areas.

Conceptual storefront orientation

Store fronts oriented towards main street

Enhanced pedestrian pathway

Courtyard

Storefronts

- Decorative storefronts with the use of varying materials and colors true to the architectural style should be used.
- Storefronts, windows and doors shall be placed to facilitate natural surveillance.
- Authenticity of design is crucial; generic, typical storefronts should be avoided.

Rear or side elevations

- The rear and side elevations of buildings should have detail equivalent to the main elevation.
- The rear and side elevations of buildings may face both the customer parking areas or the residential areas.
- Entrance to retail or residential units shall be architecturally treated and should be related to the front elevation.
- Service and storage areas should be well screened and sited.
- Side and rear elevations facing residential areas shall have architectural details, lighting, signage, etc., that are complimentary to the adjacent area.
- Mechanical units shall be ground mounted or roof mounted and concealed from public view by landscaping or if roof mounted by decorative parapet wall and other architectural elements.

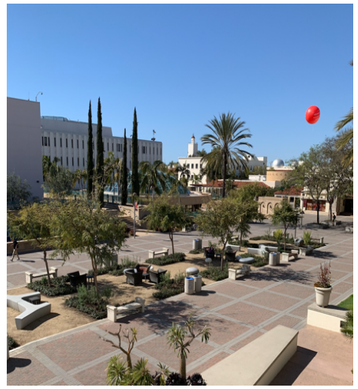
Mass and Scale

- Encourage first floor pedestrian scale through building articulation, orientation and architectural elements such as semi-covered porches, arcades and windows.
- Buildings will appear more human scale with the proper use of window patterns, structural bays, roof overhangs, siding, awnings, moldings, fixtures and other details.
- Buildings should relate to adjacent pedestrian areas, as well as other structures.
- Large dominating structures should be broken up by:
- Creating horizontal emphasis through the use of trim;
- Adding three-dimensional architectural elements;
- The use of combinations of complementary colors;
- Landscape materials.
- Heights of structures should relate to adjacent open spaces to allow maximum sun and ventilation, protection from prevailing winds, enhanced public views and minimized view obstruction by adjoining structures.
- All retail and mixed use building facades should have a recognizable base and top. A base should include elements such as richly textured materials, darker color materials, mullions, and/or panels and similar features or enhanced landscaping. A top should include elements such as cornice treatments, roof overhangs, stepped parapets, and richly textured materials or similar features.
- The height and scale of new development shall be compatible with that of surrounding development.
- Large buildings that give the appearance of box-like structures are generally unattractive and detract from the overall scale of most buildings.

Varied roof heights and building mass

Residential balcony projections

Residential sidewalk



Semi-public courtyard

Distinct retail base

Courtyard serving as common open area

- There are several ways to reduce the appearance of large scale, bulky structures.
- Vary the planes of the exterior walls in depth and/or direction. Wall planes shall not run in a continuous direction for more than fifty feet (50') without an offset proportional to the building size or an architectural feature such as a column to provide visual interest.
- Consider designing buildings in 25' increments.
- Vary the height of the buildings so that it appears to be divided into distinct massing elements.
- Articulate the different parts of a building's facade by use of color, arrangement of facade elements or a change in materials.
- Use landscaping and architectural detailing at the ground floor level to lessen the impact of an otherwise bulky building.
- Avoid blank walls at the ground floor levels. Utilize windows, trellises, wall articulation, arcades, change in materials or other features.

Courtyards

- Internal building courtyards are recommended in larger buildings to bring light and ventilation to buildings.
- Courtyards shall be private or semi public gathering spaces serving as common open areas for residential complexes, outdoor dining or urban informal gathering spaces.
- Building courtyards can be formal gardens or urban spaces surrounded with loggias for shaded seating, fountains and landscaping elements including some greenery.

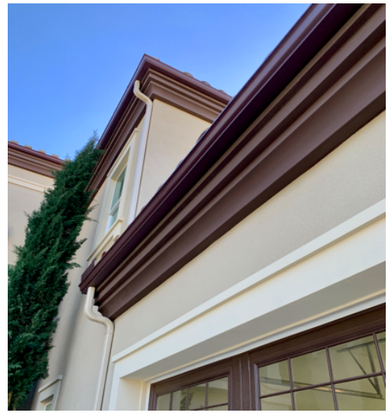
Colors

- Exterior building and roofing colors shall be appropriate to and enhance the architectural style and materials of the structure. Large areas of intense primary color shall generally be avoided as subdued colors are more appropriate as the dominant overall color for a structure.
- The color palette chosen for new structures should be compatible with the colors of adjacent structures.
- Primary or bold colors should only be used to accent elements, such as door and window frames and architectural details.
- Roof flashing, rain gutters, and downspouts, vents and other roof protrusions should be finished to complement the adjacent materials and/or colors.

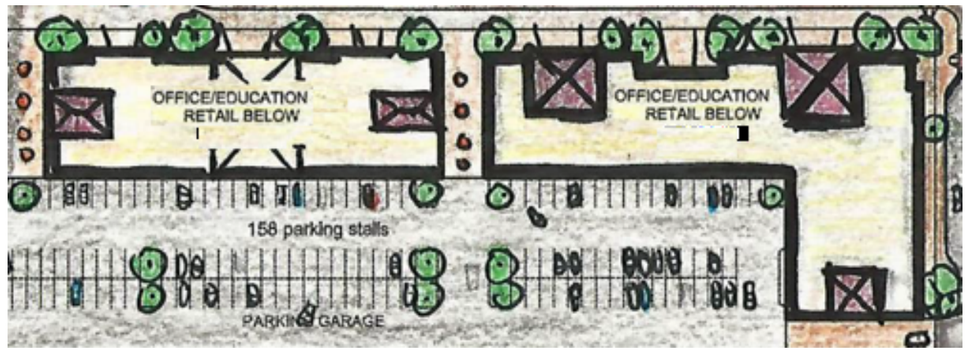
Materials

- The choice and mix of materials of structure facades should be consistently applied and should be chosen to work harmoniously with adjacent materials and be authentic to the architectural form.
- Piecemeal embellishment and frequent changes in materials should be generally avoided.
- Materials tend to appear substantial and integral when variations occur at changes in plane. Material or color changes at the outside corners of structures give an impression of thinness and artificiality which should be avoided.

Varied roof forms



Downspouts finished to complement adjacent colors



Conceptual Neighborhood Commercial Layout

- Material changes should not occur at external corners, but may occur at reverse or interior corners or if located at least four feet (4') from the edge of external corners. Material changes not accompanied by changes in plane give materials an insubstantial or applied quality.

Roof Treatments

- Neighborhood shopping center buildings should have varied and interesting roof forms that are consistent with community design standards.
- The roof line at the top of the structure should not run in continuous plane for more than fifty feet (50') without offsetting or jogging the roof plane.
- All roof top equipment shall be screened from public view by screening materials of the same nature as the structure's basic materials. Mechanical equipment shall be located below the highest vertical element of the building. Plain equipment boxes are not acceptable.
- The following roof materials shall not be used:
  - Corrugated metal;
  - Highly reflective surfaces (copper roofs may be considered) ; and
  - Illuminated roofing.

Awnings and Canopies

- Awnings and canopies should not be located so as to obscure transom windows, piers, pilasters and other architectural building features and should be designed to project over individual doors and window openings where feasible.
- Awnings and canopies that are a continuous feature extending over several windows, doors and over architectural features are discouraged. Each window or door should have its own awning or canopy.
- The size of the awning/canopy shall be proportional in scale with the building to which it is attached.
- No portion of an awning/canopy shall be less than eight feet (8') above the surface above which it projects (fourteen feet (14') above a roadway surface). An encroachment permit is required for any awning/canopy located within the public right-of-way.
- The style of the awning/canopy shall complement the architectural style of the building to which it is attached. Awnings should generally have a simple horizontal valance if located over rectangular or square window/door openings. Domed or barrel-shaped awnings are appropriate for buildings with arched window/door openings.

Functional outdoor space

Storefront building awnings

Colored, textured paving

Covered arcade

- An awning/canopy with a single, solid color is preferred. The color of the awning/canopy shall be compatible with and complement the exterior color(s) of the building. Awning/canopy colors that call more attention to itself than the building are inappropriate. Awnings/canopies with highly contrasting corporate/franchise identity colors are not permitted.
- Awnings/canopies shall be regularly cleaned and kept free of visible defects and wear.
- Awnings/canopies with signs shall require the issuance of a Sign Permit in accordance with the Zoning Ordinance.

Entries

- Whenever possible, locate site entries on side streets in order to minimize pedestrian/vehicular conflicts. When this is not possible, design the front site entry with appropriately patterned concrete or pavers to differentiate it from the sidewalks.
- Enhanced paving should be provided at all site entries.
- Accessibility features should be integrated into special paving patterns to soften their appearance.

Signs

- Signage should be integrated into the building facade.
- Signage should be at pedestrian scale.
- Signage should be located for easy visibility.

Parking and Loading Areas

- Parking areas shall be landscaped, receiving interior as well as perimeter treatment.
- Where parking areas are connected, interior circulation shall allow for a similar direction of travel and parking bays in all areas to reduce conflict at points of connection.
- Whenever possible, locate site entries on side streets in order to minimize pedestrian/vehicular conflicts. When this is not possible, design the front site entry with appropriately patterned concrete or pavers to differentiate it from the sidewalks.
- Parking access points should be located as far as possible from street intersections so that adequate stacking room is provided. The number of access points shall be limited to the minimum amount necessary to provide adequate circulation.
- Design parking areas so that pedestrians walk parallel to moving cars. Minimize the need for the pedestrian to cross parking aisles and landscape areas.
- Colored, textured paving shall be provided at a minimum depth of ten feet (10') at all primary vehicular driveway entrances (immediately behind the street right-of-way line).
- The parking area shall be designed in a manner which links the structures to the street sidewalk system as an extension of the pedestrian environment. This can be accomplished by using design features such as walkways with enhanced paving, trellis structures or a special landscaping treatment.

Perpendicular parking

Reverse angle parking

- Parking areas which accommodate a significant number of vehicles shall be divided into a series of connected smaller lots divided by landscaping or buildings.
- Where appropriate, the use of parking structures instead of parking lots is encouraged. A parking structure's smaller footprint makes parking a less obtrusive use than parking lots.
- Whether placed under-ground where it can serve as the foundation for buildings or above ground, parking structures shall be designed to minimize the impact of the structure on the street and to be compatible with the architectural style of surrounding buildings.
- Structures which are linked to adjoining uses or which provide retail or offices uses on the ground floor of the parking structure are encouraged.
- Service areas and parking should be screened from the street and residential areas by landscaped trees, massed planting and decorative walls.
- Customer access and circulation should be separated from service areas through design and landscaping.
- The service road should also act as accessible fire lanes.

- Parking lot landscaping shall be used to avoid expansive appearance of parking lots, provide shaded parking areas, and to mitigate acoustical impacts of the vehicles.
- Structures will be sited in a manner that establishes attractive and inviting places in order to form the basis for positive impressions and perceptions of the community.
- Structures and other improvements will be sited in a manner that maximizes visibility of public areas (e.g., parking lots, plazas), and streets and alleys to maximize opportunities for people engaged in their normal behavior to observe the space around them.
- When appropriate, parking structures shall be clustered. This creates plazas or pedestrian malls and prevents long "barracks-like" rows of structures. When clustering is impractical, a visual link between separate structures shall be established. This link can be accomplished through the use of an arcade system, trellis or other open structure.
- Structures should be linked to the public sidewalk with textured paving, landscaping and trellises.
- Parking areas and pedestrian walkways shall be visible from structures to the greatest degree possible.
- No more than one double-loaded bay of parking, excluding on-street parking, should be located in front of buildings.
- The maximum allowable length of the parking area in front of retail buildings is 125 feet.
- Structures and on-site circulation systems should be located to minimize pedestrian/vehicle conflicts.
- Loading facilities shall not be located at the front of structures where it is difficult to adequately screen them from view. Such facilities are more appropriate at the rear of the site. Such facilities shall be screened by masonry walls.

ADMINISTRATION AND IMPLEMENTATION

Legal Description

City Center Village North

Parcel 2 of Parcel Map No. 6882 in the County of Fresno, State of California, according to the map thereof recorded in Book 46 of Parcel Maps at Pages 46, 4 7 and 48, Fresno County Records.
Together with the North half of the fractional Southwest quarter of Section 18, Township 12 South, Range 21 East, Mount Diablo Base and Meridian, in the County of Fresno, State of California, according to the United States Government Township Plat approved by the Surveyor General on June 21, 1856.

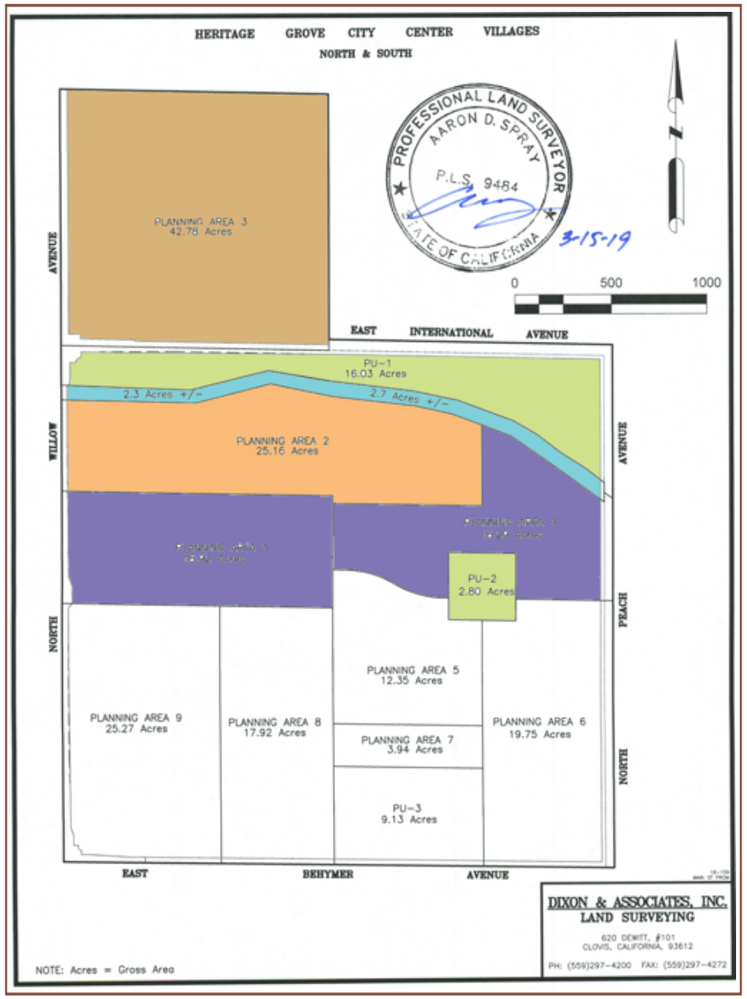
Also together with the North 51.50 of the East 349 feet of the West 954.50 feet of the Southeast quarter of the Southwest quarter of said Section 18.

Excepting therefrom the South 60.50 feet lying East of a line parallel with and 954.50 feet East of the West line of the Northeast quarter of the Southwest quarter of said Section 18.

Also excepting therefrom that portion described as follows: Beginning at the Southwest comer of the Northeast quarter of the Southwest quarter of said Section 18, thence North 00°04'19" West a distance of 197.54 feet; thence South 88°53'36" East, a distance of 67.00 feet to the beginning of a 515.00 foot radius tangent curve concave to the South; thence Easterly, along said curve, through a central angle of29°53'22" an arc distance of268.66 feet, to the beginning of a 515.00 foot radius reverse curve, concave to the North, a radial to said beginning bears South 30°59'46" West; thence Easterly, along said curve, through a central angle of 29°53'22" an arc distance of 268.66 feet; thence South 88°53'36" East, a distance of 28.17 feet to a point being 605.50 feet East of the West line of the Northeast quarter of the Southwest quarter of said Section 18; thence South 00°04'19" East, parallel with and 605.50 feet East of the West line of the Northeast quarter of the Southwest quarter of said Section 18, a distance of 60.51 feet to the South line of the Northeast quarter of the Southwest quarter of said Section 18; thence North 88°53'36" West, along the South line of the Northeast quarter of the Southwest quarter of said Section 18, a distance of 605.63 feet to the Point of Beginning.

Also excepting therefrom the Enterprise Canal.

Containing a gross area of 121.98 Acres more or less.



Regional Location

LegalDescription

City Center Village South

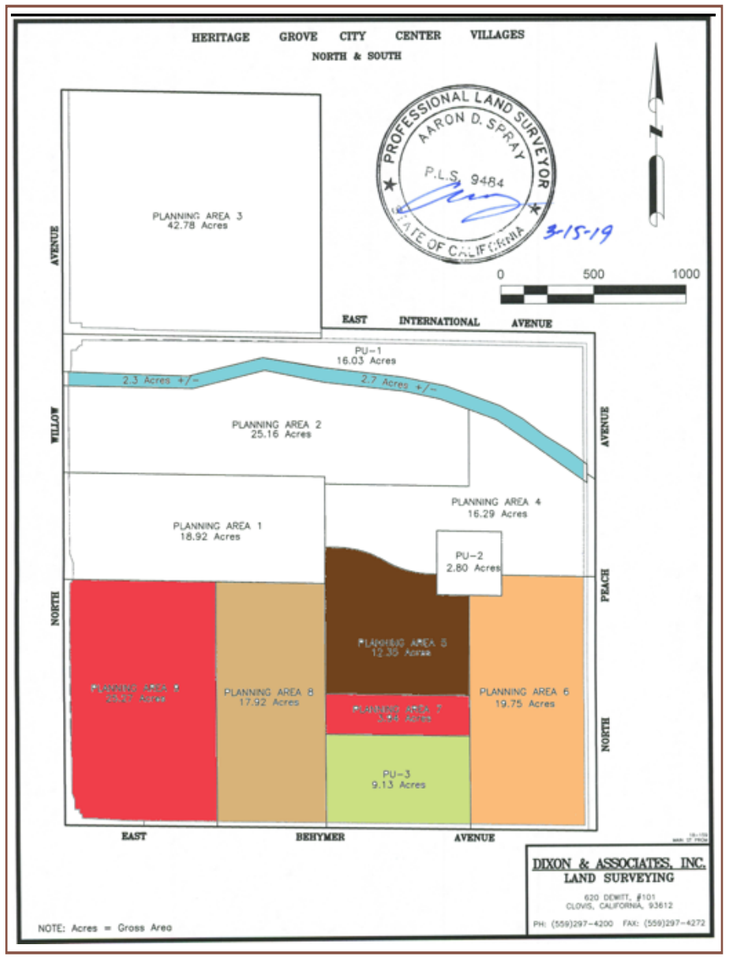
The South half of the fractional Southwest quarter of Section 18, Township 12 South, Range 21 East, Mount Diablo Base and Meridian, in the County of Fresno, State of California, according to the United States Government Township Plat approved by the Surveyor General on June 21, 1856.

Together with that portion described as follows: Beginning at the Southwest comer of the Northeast quarter of the Southwest quarter of said Section 18, thence North 00°04'19" West a distance of 197.54 feet; thence South 88°53'36" East, a distance of 67.00 feet to the beginning of a 515.00 foot radius tangent curve concave to the South; thence Easterly, along said curve, through a central angle of29°53'22" an arc distance of268.66 feet, to the beginning of a 515.00 foot radius reverse curve, concave to the North, a radial to said beginning bears South 30°59'46" West; thence Easterly, along said curve, through a central angle of 29°53'22" an arc distance of 268.66 feet; thence South 88°53'36" East, a distance of 28.17 feet to a point being 605.50 feet East of the West line of the Northeast quarter of the Southwest quarter of said Section 18; thence South 00°04'19" East, parallel with and 605.50 feet East of the West line of the Northeast quarter of the Southwest quarter of said Section 18, a distance of 60.51 feet to the South line of the Northeast quarter of the Southwest quarter of said Section 18; thence North 88°53'36" West, along the South line of the Northeast quarter of the Southwest quarter of said Section 18, a distance of 605.63 feet to the Point of Beginning.

Also together with the South 60.50 feet lying East of a line parallel with and 954.50 feet East of the West line of the Northeast quarter of the Southwest quarter of said Section 18.

Excepting therefrom the North 51.50 of the East 349 feet of the West 954.50 feet of the Southeast quarter of the Southwest quarter of said Section 18.

Containing a gross area of 88.36 Acres more or less.



Regional Location

PA 1

The South 5 82.34 feet of the fractional Northwest quarter of the Southwest quarter of Section 18, Township 12 South, Range 21 East, Mount Diablo Base and Meridian, in the County of Fresno, State of California, according to the United States Government Township Plat approved by the Surveyor General on June 21, 1856.

Containing a gross area of 18.92 Acres more or less.

PA 2

That portion of the fractional Northwest quarter of the Southwest quarter of Section 18, Township 12 South, Range 21 East, Mount Diablo Base and Meridian, In the County of Fresno, State of California, according to the United States Government Township Plat approved by the Surveyor General on June 21, 1856, lying South of the Enterprise Canal.

Excepting therefrom the South 582.34 feet of the fractional Northwest quarter of the Southwest quarter of said Section 18. Together with the West 780 feet of the fractional Northeast quarter of the Southwest quarter of said Section 18 lying South of the Enterprise Canal.

Excepting therefrom the South 542.24 feet of the fractional Northeast quarter of the Southwest quarter of said Section 18.

Containing a gross area of 25.16 Acres more or less.

PA 3

That portion of Parcel 2 of Parcel Map No. 6882 in the County of Fresno, State of California, according to the map thereof recorded in Book 46 of Parcel Maps at Pages 46, 47 and 48, Fresno County Records, described as follows:

Beginning at the Southwest comer of Parcel 2, also being the Southwest comer of the Southwest quarter of the Northwest quarter of Section 18, Township 12 South, Range 21 East, Mount Diablo Base and Meridian; thence North 00°05'37" West, along the Westerly line of said Parcel 2, also being the West line of the Southwest quarter of the Northwest quarter of said Section 18, a distance of 1,331.31 feet; thence South 88°41 '25" East, along the Northerly line of said parcel 2, also being the North line of the Southwest quarter of the Northwest quarter of said Section 18, a distance of 1,402.91 feet to a point that is 13.68 feet West of the Northeast comer thereof; thence South 00°02'13" West, a distance of 1,328.77 feet to a point on the South line of said Parcel 2, also being the South line of the Southwest quarter of the Northwest quarter of said Section 18, said point being 15. 90 feet West of the Southeast comer thereof; thence North 88°47'28" West, along said South line, a distance of 1,399.83 feet to the Point of Beginning.

Containing a gross area of 42.78 Acres more or less.

PA 4

That portion of the fractional Northeast quarter of the Southwest quarter of Section 18, Township 12 South, Range 21 East, Mount Diablo Base and Meridian, In the County of Fresno, State of California, according to the United States Government Township Plat approved by the Surveyor General on June 21, 1856, lying South of the Enterprise Canal.

Excepting therefrom the South 297.50 feet of the East 349 feet of the West 954.50 feet of the fractional Northeast quarter of the Southwest quarter of said Section 18.

Also excepting therefrom the South 60.50 feet lying East of a line parallel with and 954.50 feet East of the West line of the Northeast quarter of the Southwest quarter of said Section 18.

Also excepting therefrom the West 780 feet lying 542.24 feet North of the South line of the fractional Northeast quarter of the Southwest quarter of said Section 18.

Also excepting therefrom that portion described as follows: Beginning at the Southwest comer of the Northeast quarter of the Southwest quarter of said Section 18, thence North 00°04'19" West a distance of 197.54 feet; thence South 88°53'36" East, a distance of67.00 feet to the beginning of a 515.00 foot radius tangent curve concave to the South; thence Easterly, along said curve, through a central angle of29°53'22" an arc distance of268.66 feet, to the beginning of a 515.00 foot radius reverse curve, concave to the North, a radial to said beginning bears South 30°59'46" West; thence Easterly, along said curve, through a central angle of 29°53'22" an arc distance of 268.66 feet; thence South 88°53'36" East, a distance of28.17 feet to a point being 605.50 feet East of the West line of the Northeast quarter of the Southwest quarter of said Section 18; thence South 00°04'19" East, parallel with and 605.50 feet East of the West line of the Northeast quarter of the Southwest quarter of said Section 18, a distance of 60.51 feet to the South line of the Northeast quarter of the Southwest quarter of said Section 18; thence North 88°53'36" West, along the South line of the Northeast quarter of the Southwest quarter of said Section 18, a distance of 605.63 feet to the Point of Beginning.

Together with the West 44.50 feet of the Northwest quarter of the Southeast quarter of said Section 18, lying South of the Enterprise Canal, excepting therefrom the South 60.50 feet thereof.

Containing a gross area of 16.84 Acres more or less.

PA 5

The West 780 feet of the fractional Southeast quarter of the Southwest quarter of Section 18, Township 12 South, Range 21 East, Mount Diablo Base and Meridian, in the County of Fresno, State of California, according to the United States Government Township Plat approved by the Surveyor General on June 21, 1856.

Together with that portion described as follows: Beginning at the Southwest corner of the Northeast quarter of the Southwest quarter of said Section 18, thence North 00°04'19" West a distance of 197.54 feet; thence South 88°53'36" East, a distance of 67.00 feet to the beginning of a 515.00 foot radius tangent curve concave to the South; thence Easterly, along said curve, through a central angle of 29°53'22" an arc distance of 268.66 feet, to the beginning of a 515.00 foot radius reverse curve, concave to the North, a radial to said beginning bears South 30°59'46" West; thence Easterly, along said curve, through a central angle of 29°53'22" an arc distance of 268.66 feet; thence South 88°53'36" East, a distance of 28.17 feet to a point being 605.50 feet East of the West line of the Northeast quarter of the Southwest quarter of said Section 18; thence South 00°04'19" East, parallel with and 605.50 feet East of the West line of the Northeast quarter of the Southwest quarter of said Section 18, a distance of 60.51 feet to the South line of the Northeast quarter of the Southwest quarter of said Section 18; thence North 88°53'36" West, along the South line of the Northeast quarter of the Southwest quarter of said Section 18, a distance of 605.63 feet to the Point of Beginning.

Excepting therefrom the East 174.50 feet of the North 51.50 of the West 780 feet of the fractional Southeast quarter of the Southwest quarter of said Section 18.

Also excepting therefrom the South 730 feet of the Southeast quarter of the Southwest quarter of said Section 18.

Containing a gross area of 12.35 Acres more or less

PA 6

The fractional Southeast quarter of the Southwest quarter of Section 18, Township 12 South, Range 21 East, Mount Diablo Base and Meridian, in the County of Fresno, State of California, according to the United States Government Township Plat approved by the Surveyor General on June 21, 1856.

Excepting therefrom the West 780 feet of the Southeast quarter of the Southwest quarter of said Section 18.

Also excepting therefrom the North 51.50 feet of the East 174.50 feet of West 954.50 feet of the Southeast quarter of the Southwest quarter of said Section 18.

Together with the South 60.50 feet of the Northeast quarter of the Southwest quarter of said Section 18, lying East of a line parallel with and 954.50 feet East of the West line of the Northeast quarter of the Southwest quarter of said Section 18.

Also together with the West 44.50 feet of the Southwest quarter of the Southeast quarter, and the South 60.50 feet of the West 44.50 feet of the Northwest quarter of the Southeast quarter of said Section18.

Containing a gross area of 21.17 Acres more or less.

PA 7

The North 220 feet of the South 730 feet of the West 780 feet of the fractional Southeast quarter of the Southwest quarter of Section 18, Township 12 South, Range 21 East, Mount Diablo Base and Meridian, in the County of Fresno, State of California, according to the United States Government Township Plat approved by the Surveyor General on June 21, 1856.

Containing a gross area of 3.94 Acres more or less.

PA 8

The East half of the fractional Southwest quarter of the Southwest quarter of Section 18, Township 12 South, Range 21 East, Mount Diablo Base and Meridian, in the County of Fresno, State of California, according to the United States Government Township Plat approved by the Surveyor General on June 21, 1856.

Excepting therefrom the West 120 feet thereof.

Containing a gross area of 17.92 Acres more or less.

PA 9

The West half of the fractional Southwest quarter of the Southwest quarter of Section 18, Township 12 South, Range 21 East, Mount Diablo Base and Meridian, in the County of Fresno, State of California, according to the United States Government Township Plat approved by the Surveyor General on June 21, 1856.

Together with the West 120 feet of the East half of the Southwest quarter of the Southwest quarter of said Section 18.

Containing a gross area of 25.27 Acres more or less.

PU 1

The North half of the Southwest quarter of Section 18, Township 12 South, Range 21 East, Mount Diablo Base and Meridian, in the County of Fresno, State of California, according to the United States Government Township Plat approved by the Surveyor General on June 21, 1856, lying North of the Enterprise Canal.

Together with the West 44.50 of the Southeast quarter of said Section 18, lying North of the centerline of the Enterprise Canal, and the West 44.50 feet of the of the South 56.50 feet of the Southwest quarter of the Northeast quarter of said Section18, and the South 56.50 feet of the Southeast quarter of the Northwest quarter of said Section 18, and the Eest 15.90 feet more or less of the South 56.50 feet of the Southwest quarter of the Northwest quarter of said Section 18.

Containing a gross area of 18.68 Acres more or less.

PU 2

The South 297.50 feet of the East 349 feet of the West 954.50 feet of the fractional Northeast quarter of the Southwest quarter of Section 18, Township 12 South, Range 21 East, Mount Diablo Base and Meridian, in the County of Fresno, State of California, according to the United States Government Township Plat approved by the Surveyor General on June 21, 1856.

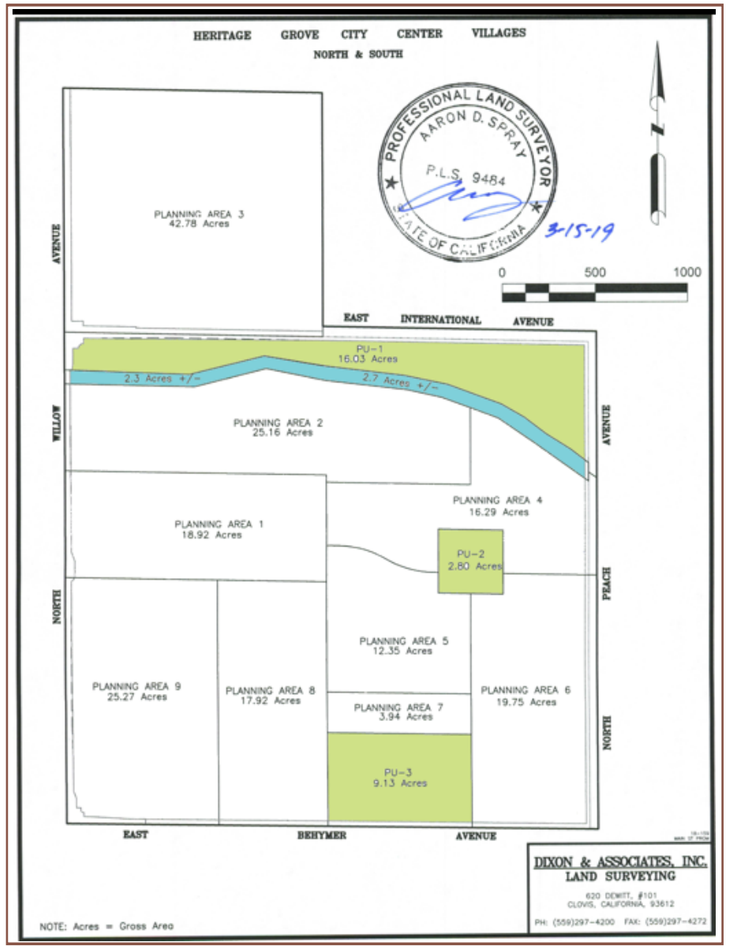
Together with the North 51.50 of the East 349 feet of the West 954.50 feet of the Southeast quarter of the Southwest quarter of said Section 18.

Containing a gross area of 2.80 Acres more or less.

PU 3

The South 510 feet of the West 780 feet of the fractional Southeast quarter of the Southwest quarter of Section 18, Township 12 South, Range 21 East, Mount Diablo Base and Meridian, in the County of Fresno, State of California, according to the United States Government Township Plat approved by the Surveyor General on June 21, 1856.

Containing a gross area of 9.13 Acres more or less.



Regional Location

Master Development Plan Adoption

Master Development Plan Administration

The Master Development Plan (MDP) represents a framework of development for the Heritage Grove City Center Villages. Implementation of the project requires the approval of this MDP handbook as the Master Plan Community (MPC) Zone district and master site plan review and any subsequent submittals over the life of the project's build-out. This section sets forth the procedures needed to implement and administer the MDP, and those procedures required for its amendment, if necessary. Provisions for processing site plan review applications for multi-family, commercial and public facility projects within the Heritage Grove City Center Village North and South, are also disclosed herein.

Implementation

The Heritage Grove City Center Villages Master Development Plan will be implemented through the processing of this handbook and the tract maps, site plans, text, discussions, and development standards contained herein or att ached as a part of this submitt al. Subsequent submitt als may be required of the applicant to submit any of the following prior to the recordation of any final map, site plan review or building permit with a Master Planned Community (MPC) Overlay district:

1. Subsequent or concurrently processed conditional use permit application for residential planned unit developments;
2. Subsequent site plan review for those projects normally requiring site plan review other than single family residential;
3. Subsequent Planned Commercial Center zone requests to finalize the development plans for commercial, mixed-use and live/work developments;
4. Proposed conditions, covenants and restrictions, if any;
5. Sign review; or
6. Architectural Design Guidelines.

The city's approval of the MDP shall constitute sufficient findings to justify any waivers, variances, exceptions or deviations set forth in the MDP to those provisions of the Clovis Municipal Code that would otherwise be required. Such waivers, variances, exceptions or deviations shall be deemed granted.

Amendments to the adopted Master Development Plan

Procedure. The development of the property shall comply with the development standards approved in this MDP. Amendments to this adopted MDP on, by, or on behalf of the property owner(s), or any proposal by the city, shall be filed with the Department of Planning and Development Services. The Planning and Development Services Director shall determine if the proposed modification is "minor" or "major" and the request or proposal shall be processed accordingly.

Minor Modification. A minor modification is a modification which is requested or agreed to by the property owner and which is intended to accomplish one or more of the following:

1. A change in the species of plant material proposed for the MPC District;
2. A lot line adjustment; or
3. Any other change or modification which does not change the basic intent of the MPC (floor plans, elevations, site elements, etc.).

The Planning and Development Services Director shall process and make an administrative decision regarding all minor modifications. Appeals of the Planning and development Services Director's determination regarding the modification shall be processed in accordance with Section 9.3-403.F of the Clovis Municipal Code.

Major Modification. A major modification includes any modification which does not qualify as a minor modification, including adding property to an existing MPC District. A major modification shall be processed and reviewed by the Planning Commission and approved by the City Council in accordance with the procedure for rezone set forth in Section 9.3.400 of the Clovis Municipal Code.

Existing uses

All existing uses including agricultural operations and residential at the time of document adoption shall be considered legal and permitted uses under this plan and MPC overlay zone district.

Process for site plan review applications within a MPC District for multi-family/commercial/public facility projects

The individual project approval process requires the preparation of a site plan for the purpose of enabling the Planning and Development Services Department to make a finding that the proposed development is in conformity with the intent and purpose of the Master Development Plan and zoning requirements, and to guide the Building Inspection division of the planning and Development Services Department in the issuance of permits. The Master Development Plan shall take the place of the preliminary development plan as described in the Multi-Family, Planned Commercial Center and Public Facility districts, and a site plan review shall be processed in accordance with the provisions of Section 9.3.408 of the Clovis Municipal Code prior to the issuance of building permits within these areas.

AGENDA ITEM NO: 3

CITY of CLOVIS

REPORT TO THE PLANNING COMMISSION

TO: Clovis Planning Commission

FROM: Planning and Development Services

DATE: April 18, 2019

SUBJECT: Consider Approval, Res. 19-___, CUP2019-01, A request to approve a conditional use permit to allow an instant oil change service station use on a portion of a 0.87-acre parcel at 1515 Herndon Avenue, located on the north side of Herndon Avenue between Sunnyside and Fowler Avenues. Rose Dolarian, property owner; Cathy McGuire, Moo Inc., applicant.

Staff: Ricky Caperton, AICP, Senior Planner
Recommendation: Approve

ATTACHMENTS:
1. Conditions of Approval
2. Draft Resolution
3. Correspondence from Agencies
4. Site Plan
5. Floor Plan and Elevations

CONFLICT OF INTEREST

None.

RECOMMENDATION

Staff recommends that the Planning Commission approve conditional use permit CUP2019-01, subject to the conditions listed in **Attachment 1**.

EXECUTIVE SUMMARY

The applicant is requesting approval of a conditional use permit to allow an instant oil change service station use on a portion of a 0.87-acre parcel at 1515 Herndon Avenue, located on the

north side of Herndon Avenue between Sunnyside and Fowler Avenues.

Approval of this conditional use permit would allow the applicant to move forward with site plan review and the lot line adjustment process to remove a conflicting property line.

BACKGROUND

- General Plan Designation: General Commercial
- Specific Plan Designation: Herndon-Shepherd
- Existing Zoning: C-2 (Community Commercial)
- Lot Size: 0.87 acres (portion of)
- Current Land Use: Vacant/Undeveloped
- Adjacent Land Uses:
  - North: C-2 (Community Commercial)
  - South: P-F (Public Facilities)
  - East: C-2 (Community Commercial)
  - West: C-2 (Community Commercial)
- Previous Entitlements: CUP2013-06 (Les Schwab)
  SPR2013-07 (Les Schwab)
  PM2013-03 (3-lot Parcel Split)

PROPOSAL AND ANALYSIS

Project Location

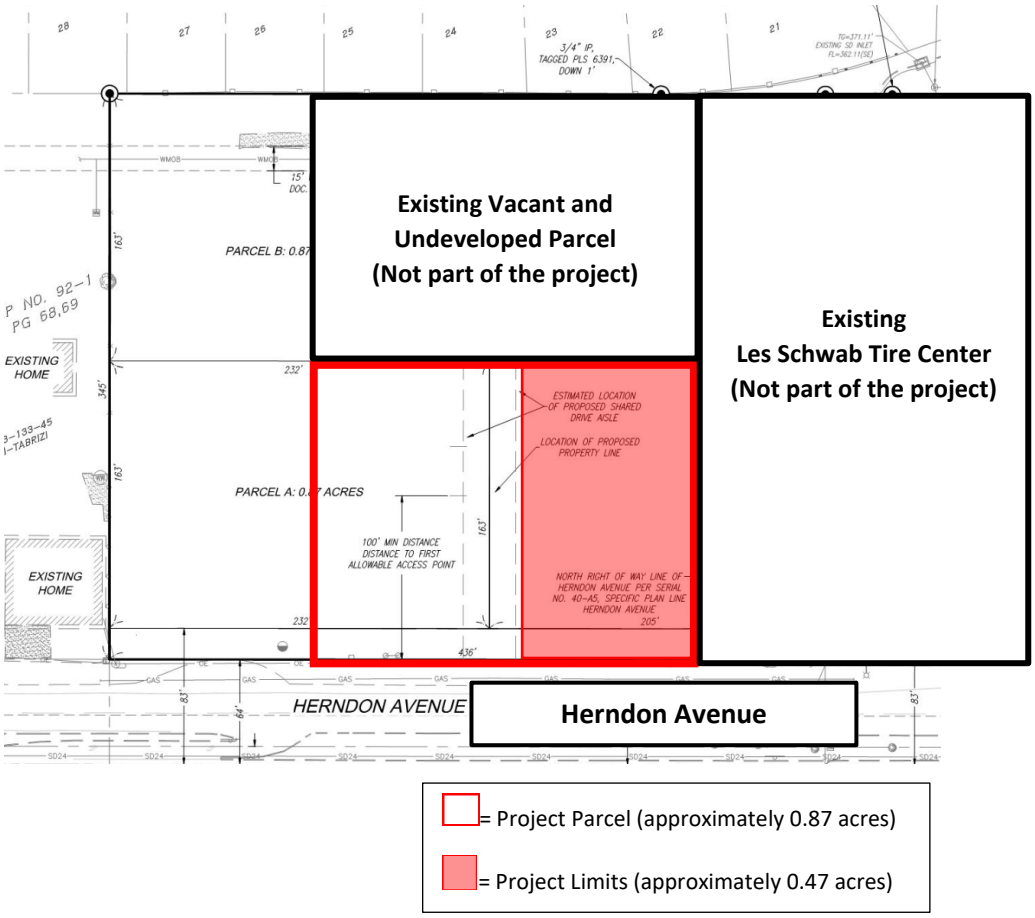
As shown in **Figure 1**, the project site is located on a portion of an existing vacant and undeveloped 0.87-acre parcel located at 1515 Herndon Avenue, between Sunnyside and Fowler Avenues. The proposed lease area for the proposed project would be approximately 20,615 square-feet (0.47 acres), subject to approval of a Lot Line Adjustment.

Figure 1

Site Characteristics and History

As shown in **Figure 2**, The Project site itself is a 0.87-acre parcel approved under Parcel Map PM2013-03, which approved three (3) separate parcels, including the parcel where the existing Les Schwab Tire Center is located (1635 Herndon Avenue). The Project would be on a portion of the 0.87-acre parcel as outlined in staff's Figure 2. Other than the existing Les Schwab Tire Center approved under CUP2013-06/SPR2013-07, there have been no previous formal applications for the remaining areas or vacant parcels.

Figure 2



Project Description

The Project proposes a Valvoline Instant Oil Change service station which provides preventative maintenance services for vehicles such as oil changes, antifreeze changes, differential fluid changes, batteries, belts, fuel system cleaning service, lights, wipers, and transmission fluid servicing.

With Planning Commission approval, formal submittal of a Site Plan Review is required to

memorialize building placement, parking fields, landscaping, circulation and elevations. The Project would include construction of an approximate 2,050 square-foot building consisting of three (3) service bays, a customer waiting room, surface parking lot with 12 vehicle spaces, a space for loading, one (1) Americans with Disabilities Act (ADA) compliant space, and one (1) electric vehicle capable space. Other site improvements would include paved areas for on-site vehicle and pedestrian circulation, landscaping, trash enclosure, and pedestrian and landscape improvements along the property fronting Herndon Avenue.

The proposed site layout is shown in **Attachment 4**, and conceptual elevations of a typical Valvoline Instant Oil Change are shown in **Attachment 5**.

The site is zoned C-2 (Community Commercial), which allows for a service station use with an approved conditional use permit.

Project Operations

The proposed service station would operate seven days per week from 7:00 a.m. to 7 p.m., and anticipates servicing approximately thirty-three (33) vehicles per day to start, and as many as up to fifty (50) vehicles per day once established. The applicant anticipates hiring a staff of approximately ten (10) employees with up to six (6) working at any given time depending on the number of vehicles serviced.

Products and by-products of vehicle servicing such as oil, antifreeze, and other fluids commonly associated with vehicle maintenance would be property stored either in the basement area of the building and/or in containers appropriate for the type of fluid being stored.

All products would be stored and disposed of in compliance with applicable Federal, State, and local standards and laws for the handling of such materials.

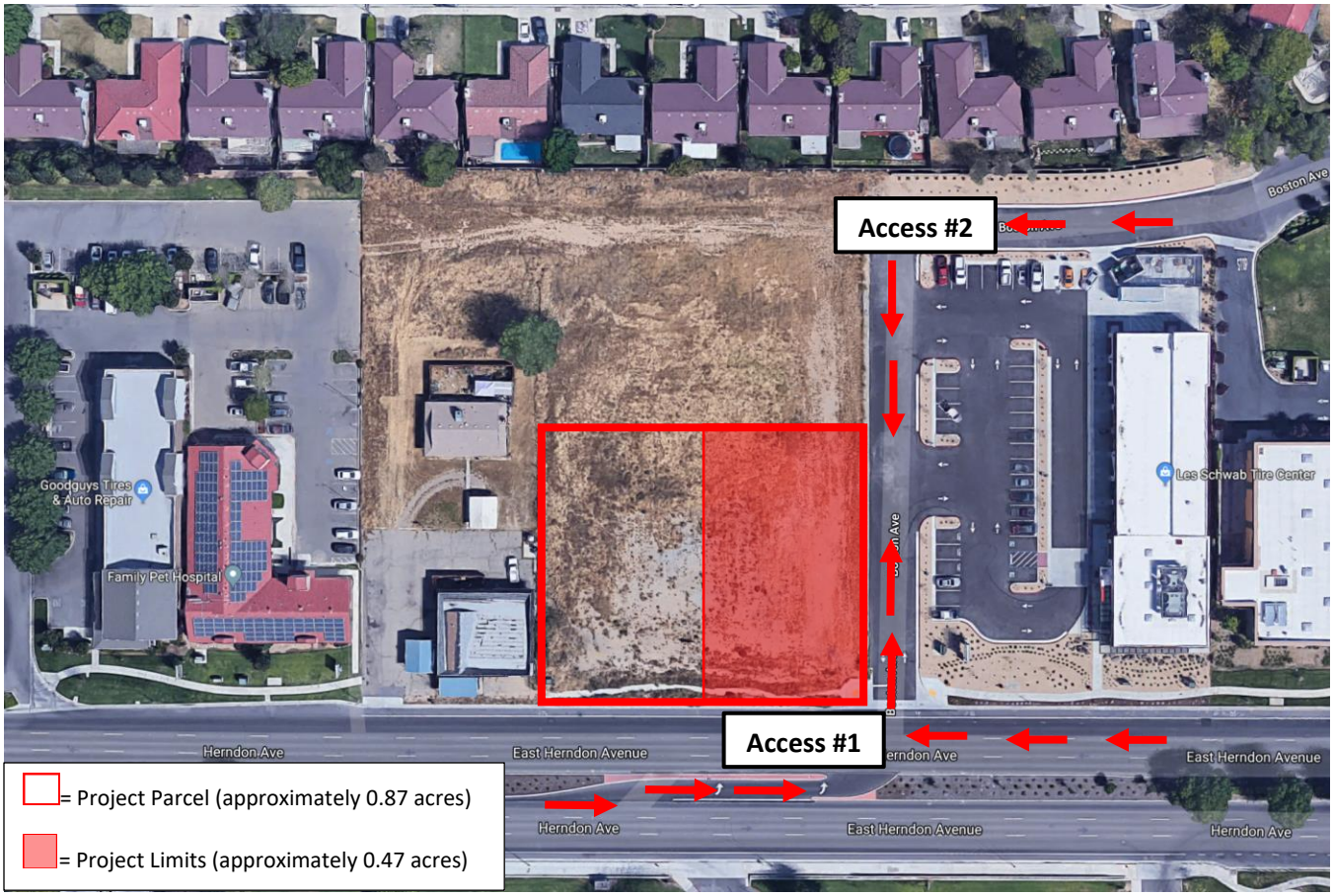
Parking and Circulation

As shown in **Figure 3**, the project site includes two points of ingress and egress, including primary access from Herndon Avenue, which also serves the remaining undeveloped areas of the parcels, as well as the existing Les Schwab Tire Center to the east. Secondary access is provided via a private drive north of the project site connecting to Boston Avenue which extends to Fowler Avenue. The applicant proposes paving the perimeter immediately surrounding the lease area for on-site circulation. However, the remaining portions of the parcel would remain undeveloped until future development occurs.

The proposed project also includes striped pedestrian pathways throughout the site providing access from the building to the sidewalk, as well as other safety features to minimize the potential for traffic safety hazards, which could include pedestrian crosswalks, and/or “no parking” striping to prevent the queueing of vehicles onto Herndon Avenue. Any traffic safety measures would be required to be approved by the City engineer.

The Project proposes twelve (12) vehicle spaces. Per Section 9.32.040 of the Clovis Municipal Code, service stations require a parking ratio of one (1) space for each 200 square-feet of floor area, plus three (3) spaces for each service bay. The proposed project includes three (3) service bays and a total building area of 2,050 square-feet; however, because the service bays are a majority of the square-footage and the public areas are limited to a 300 square-foot customer waiting room, the required parking would be 11 vehicle spaces (9 spaces for the service bays, and 2 for the gross floor area).

Figure 3



Development Standards

Development standards for the C-2 (Community Commercial) Zone District require a minimum setback of 30-feet to the parking area from face-of-curb, and 40-feet to structures from face-of-curb. There are no side setbacks for the C-2 Zone District. All required setback areas would be required to be landscaped. Further, the maximum height under the Herndon-Shepherd Specific Plan for this type of project would be 25 feet, and the project proposes a maximum height of 24 feet at its highest point. Subsequently, in compliance with Section 9.40.190(B)(13) of the Clovis Municipal Code, the proposed building and service bays would be oriented to the west

to reduce direct view of the bays from the Herndon Avenue right-of-way.

Overall, the proposed project would meet and/or exceed the development standards of the C-2 Zone District.

Signage

As a condition of previous entitlements (CUP2013-06 and SPR2013-07), the subject site is not permitted its own freestanding sign; therefore, properties located at 1515, 1565, and 1635 Herndon Avenue shall share the existing freestanding sign located on 1635 Herndon Avenue. The applicant would be required to submit for a formal Sign Review application with the Planning and Development Services Division before any sign or signs are mounted onto the building. All signs shall conform to the requirements of the Clovis Sign Ordinance.

Consistency with Surrounding Area

The project is located on an undeveloped parcel along Herndon Avenue surrounded by residential uses to the north, commercial uses to the east, south, and west. The surrounding area is intended for commercial uses, providing a variety of services and goods to the general area. The proposed project is consistent with the surrounding area in that it would add to the diversity of neighborhood serving uses.

Public Comments

A public notice was sent to area residents within 350 feet of the property boundaries. Staff has not received comments or concerns from the public upon finalization of this report.

Review and Comments from Agencies

The Project was distributed to all City Divisions as well as outside agencies, including Cal Trans, Clovis Unified School District, Fresno Irrigation District, Fresno Metropolitan Flood Control District, AT&T, PG&E, San Joaquin Valley Air Pollution Control District, State Department of Fish and Wildlife, and the County of Fresno.

Comments received are attached only if the agency has provided concerns, conditions, or mitigation measures. Routine responses and comment letters are placed in the administrative record and provided to the applicant for their records.

Consistency with the General Plan Goals and Policies

Staff has evaluated the project in light of the General Plan Land Use goals and policies. The following goal and policy reflects Clovis' tradition of responsible planning and well managed growth to preserve the quality of life in existing neighborhoods and ensure the development of new neighborhoods with an equal quality of life. The goals and policies seek to foster more compact development patterns that can reduce the number, length, and duration of vehicle trips.

Land Use Element

Goal 6: A city that grows and develops in a manner that implements its vision, sustains the integrity of its guiding principles, and requires few and infrequent amendments to the General plan.

Policy 6.2 **Smart growth.** The city is committed to the following smart growth goals.

- Create a range of housing opportunities and choices
- Create walkable neighborhoods
- Encourage community and stakeholder collaboration
- Foster distinctive, attractive communities with a strong sense of place
- Make development decisions predictable, fair, and cost-effective
- Mix land uses
- Preserve open space, farmland, natural beauty, and critical environmental areas
- Provide a variety of transportation choices
- Strengthen and direct development toward existing communities
- Take advantage of compact building design
- Enhance the economic vitality of the region
- Support actions that encourage environmental resource management

Circulation Element

Policy 1.4 Jobs and housing. Encourage infill development that would provide jobs and services closer to housing, and vice versa, to reduce citywide vehicle miles travelled and effectively utilize the existing transportation network.

California Environmental Quality Act (CEQA)

The City has determined that this Project is exempt from CEQA pursuant to Public Resources Code Section 15332 (Class 32 – Infill Development Projects). Under the Class 32 categorical exemption, projects that: (a) are consistent with the applicable land use designation, General Plan policies, and zoning; (b) are within city limits on a project site of no more than five acres substantially surrounded with urban uses; (c) are located on sites with no value as habitat for endangered, rare, or threatened species; (d) would not result in significant effects relating to traffic, noise, air quality, and water quality; and (e) is located on a site that can be adequately served by all utilities.

A Notice of Exemption has been completed during the preliminary review and is kept for public review with the project file during the processing of the project application. Staff will file the notice with the County Clerk if the project is approved.

The City published notice of this public hearing in *The Business Journal* on Wednesday, April 3, 2019

REASON FOR RECOMMENDATION

The proposed project is consistent with the goals and policies of the General Plan, Herndon-Shepherd Specific Plan, and zoning and provides a diversity of land use within an existing, vacant, and undeveloped commercial property. Therefore, staff recommends that the Planning Commission approve CUP2019-01, subject to the conditions of approval listed as **Attachment 1**.

Findings for approval of a conditional use permit application are as follows:

1. That the proposed use is conditionally allowed within, and would not impair the integrity and character of the subject zoning district and is in compliance with all of the applicable provisions of the Development Code;

2. That the proposed use is consistent with the General Plan and any applicable Specific Plan;

3. That the design, location, size, and operating characteristics of the proposes use are compatible with the existing and future land uses and would not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other allowed uses operating nearby or adverse to the public interest, health, safety, convenience, or welfare of the City;

4. That the subject property is physically suitable in size and shape for the type and density/intensity of use being proposed;

5. That there are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety; and

6. That, based upon the Categorical Exemption, there is no substantial evidence that the project will have a significant effect on the environment.

ACTIONS FOLLOWING APPROVAL

None.

FISCAL IMPACT

None.

NOTICE OF HEARING

Property owners within 350 feet notified: 26
Interested individuals notified: 11

Prepared by: Ricky Caperton, AICP, Senior Planner

Reviewed by: Bryan Araki
City Planner

CONDITIONS OF APPROVAL

ATTACHMENT 1

ATTACHMENT 1
Conditions of Approval – CUP2019-01

Planning Division Comments
(Ricky Caperton, AICP, Senior Planner – 559-324-2347)

1. The applicant shall comply with Section 9.56-010 of the City of Clovis Zone Ordinance requiring Site Plan Review. The elevations and site plan submitted during the Site Plan Review shall be reflective of the material incorporated under this conditional use permit application.

2. CUP2019-01 is approved per Attachments 4 and 5. CUP2019-01 may be reviewed in a one (1) year period of time. Staff will conduct a review of the use in regard to the compliance with conditions of approval and present findings of this review to the Planning Commission. Should the use be found to be in non-compliance, the Commission may schedule the use permit for revocation.

3. All conditions of PM2013-03, CUP2013-06, SPR2013-07, the Herndon-Shepherd Specific Plan, and any other applicable conditions are hereby referred to and made a part of this Conditional Use Permit by reference.

4. All vehicle service and repair shall occur inside the building. Outdoor vehicle repair work is prohibited.

5. All parking of employees shall occur on site.

6. Conditional Use Permit CUP2019-01 approves a new instant oil change service station and installation use and minor repair activities shall be limited to oil changes, antifreeze changes, differential fluid changes, batteries, belts, fuel system cleaning, lights wipers and transmission fluid changes, and other minor repair work as identified in Section 9.40.190(C)(6), Vehicle Service Station Standards, of the Clovis Municipal Code.

7. Succession or abandonment of this use for a period of exceeding 90 days shall be cause for scheduling of a revocation hearing for this conditional use permit.

8. This site is not permitted its own freestanding sign. Per CUP2013-06 and SPR2013-07, the properties located at 1515, 1565 and 1635 Herndon Avenue shall share the existing freestanding sign located on 1635 Herndon Avenue.

9. Operation of the site shall conform with the Clovis General Plan noise standards and not generate any noise in excess of 65 decibels to the outside of any residential structure nor 45 decibels to the interior of any structure. All noise generating equipment such as compressors and pumps shall be located within the proposed building.

10. Exterior Noise adjacent to residential uses shall not exceed 65 CNEL.

11. There shall be no public address (PA) system, phone ringing, or music system used that may be heard on the exterior of the building.

12. Thirty-feet (30') of setback for parking and forty-feet (40') of setback from face-of-curb-to any building shall be provided along the Herndon Avenue frontage.

13. All lighting shall be screened from direct view from the public right-of-way and adjacent residential properties.

14. Hours of operation for this use shall be limited to 7:00 a.m. to 7:00 p.m. Monday through Sunday. Modification to the hours of operation will require an amendment to the conditional use permit.

15. Vehicles shall not be stored or parked outside the building overnight. All storage of materials shall occur within the building.

16. Outdoor storage of vehicles not capable of moving under their own power (e.g., disabled or junk vehicles) shall not be allowed on any station site for longer than forty-eight (48) hours.

17. Overnight camping and/or overnight RV parking is not permitted on this site.

18. No outdoor display of merchandise is permitted unless approved through a separate Administrative Use Permit.

19. Windows signs shall not exceed more than 20% of the glass surface area and/ or allowed by code. Section 9.34.060 (S).

Fire Department Conditions

(Gary Sawhill, Department Representative - 324-2224)

20. **Reciprocal Access Agreement:** The applicant shall provide a signed reciprocal access agreement with the adjoining property for the use of the common drives and road system prior to the issuance of building permits.

21. **Fire Apparatus Access Roads (26'):** Fire apparatus access roads shall have an unobstructed width of not less than twenty-six feet (26') to all buildings and an unobstructed vertical clearance of not less than fourteen feet (14').

22. **Turning Radius:** All access way roads constructed shall be designed with a minimum outside turning radius of forty-five feet (45')

23. **Fire Lane:** The fire lanes shall be posted with signs and/or the curbs shall be painted red as per Clovis Fire Department Standard #1.1 and identified on site plan.

24. **Address Numbers:** Address numbers shall be installed on every building as per

adopted Clovis Fire Department Standard #1.8.

25. Provide a copy of the approved stamped site plan from the Planning Division. Site Plan shall include all fire department notes to verify compliance with requirements. Site plans included with this plan submittal are subject to the conditions on the Planning Division approved set.

ENGINEERING / UTILITIES / SOLID WASTE DIVISION CONDITIONS

(Sean Smith, Engineering Division Representative – 324-2363)
(Paul Armendariz, Department Representative – 324-2649)
(Scott Redelfs, Solid Waste Division Representative – 324-2648)

26. The applicant shall provide for free movement of traffic onto the site with no cross traffic or parking stalls within 100' of the Avenue face of curb, or as approved by the City Engineer. The Applicant may provide onsite traffic circulation as shown on the approved site plan. As configured, there is potential that congestion near the Herndon entrance could occur, causing vehicles to queue into the Herndon Avenue through lanes. In the event that such a condition materializes, the applicant shall be responsible for appropriate mitigation as determined by the City Engineer. The Applicant may propose measures to mitigate the potential traffic safety hazard, but no implied approval for any specific measure is given at this time. If, in the determination of the City Engineer, the proposed mitigation measures are not appropriate or would not adequately mitigate the identified traffic safety hazard, the Applicant shall construct on-site mitigation designed to alleviate the congestion and remove the hazard. Such mitigation could include a median located at the Herndon Avenue entrance of the site to channelize inbound traffic into the site and remove the immediate left turn option. All mitigation improvements shall be at the Applicant's/property owner's expense. The applicant shall enter into a deferment agreement that runs with the land for the installation of the on-site mitigation. The improvement plans for the corresponding Site Plan Review shall reflect the potential future median.

Fresno Irrigation District

(Chris Lundeen, FID Representative – 233-7161 ext. 7410)

27. The Applicant shall refer to the attached Fresno Irrigation District correspondence. If the list is not attached, please contact the FID for the list of requirements.

County of Fresno Health Department Conditions

(Kevin Tsuda, County of Fresno Health Department Representative – 600-3271)

28. The Applicant shall refer to the attached Fresno County Health Department correspondence. If the list is not attached, please contact the Health Department for the list of requirements.

DRAFT RESOLUTION

ATTACHMENT 2

DRAFT
RESOLUTION 19-_____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CLOVIS APPROVING A CONDITIONAL USE PERMIT TO ALLOW A SERVICE STATION USE IN ASSOCIATION WITH A PROPOSED VALVOLINE INSTANT OIL CHANGE ON A PORTION OF PROPERTY LOCATED ON THE NORTH SIDE OF HERNDON AVENUE BETWEEN SUNNYSIDE AND FOWLER AVENUES (1515 HERNDON AVENUE) AND FINDING THE PROJECT IS EXEMPT FROM CEQA PURSUANT TO A CLASS 32 CATEGORICAL EXEMPTION

WHEREAS, MOO Inc. – dba Valvoline Instant Oil Change, 30937 Powell Drive, Exeter, CA 93221, has applied for a Conditional Use Permit CUP2019-01; and

WHEREAS, this is a request to approve a conditional use permit to allow a service station use for an instant oil change business located on the north side of Herndon Avenue between Sunnyside and Fowler Avenues (1515 Herndon Avenue), in the City of Clovis; and

WHEREAS, a public notice was sent out to area residents within 350 feet of said property boundaries ten days prior to said hearing; and

WHEREAS, a duly noticed hearing was held on April 18, 2019; and

WHEREAS, the Commission, has reviewed and considered the staff report and all written materials submitted in connection with the request including the conditions attached as Attachment "1" to this resolution and incorporated herein by this reference, and hearing and considering the testimony presented during the public hearing; and:

1. The proposed use is conditionally allowed within, and would not impair the integrity and character of the subject zoning district and is in compliance with all of the applicable provisions of the Development Code;

2. The proposed use is consistent with the General Plan and any applicable specific plan;

3. The design, location, size, and operating characteristics of the proposed use are compatible with the existing and future land uses and would not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other allowed uses operating nearby or adverse to the public interest, health, safety, conveniences, or welfare of the City;

4. The subject parcel is physically suitable in size and shape for the type and density/intensity of use being proposed;

5. There are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safey; and

6. The proposed project has been reviewed in compliance with the provisions of the California Environmental Quality Act (CEQA) and, based upon the Categorical Exemption, there is no substantial evidence that the project will have a significant effect on the environment.

NOW, THEREFORE, BE IT FURTHER RESOLVED that the Clovis Planning Commission does approve CUP2019-01, subject to the attached conditions labeled Attachment 1.

* * * * * *

The foregoing resolution was adopted by the Clovis Planning Commission at its regular meeting on April 18, 2019, upon a motion by Commissioner _____, seconded by Commissioner _____, and passed by the following vote, to wit:

AYES:
NOES:
ABSENT:
ABSTAIN:

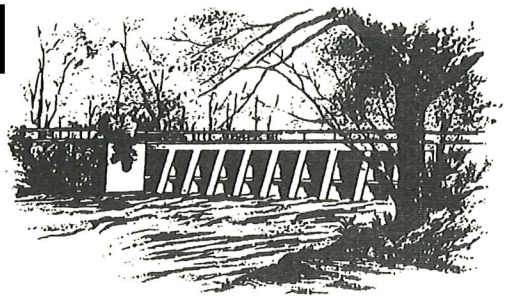
PLANNING COMMISSION RESOLUTION NO. 19-____
DATED: April 18, 2019

_____
Amy Hatcher, Chair

ATTEST: _____
Dwight Kroll, AICP, Secretary

CORRESPONDENCE

ATTACHMENT 3



YOUR MOST VALUABLE RESOURCE - WATER

OFFICE OF
FRESNO IRRIGATION DISTRICT

TELEPHONE (559) 233-7161
FAX (559) 233-8227
2907 S. MAPLE AVENUE
FRESNO, CALIFORNIA 93725-2208

April 1, 2019

Ms. Lily Cha
City of Clovis
Planning and Development Services Department
1033 Fifth St.
Clovis, CA 93612

RE: Conditional Use Permit No. 2019-001
N/W Herndon and Fowler avenues

Dear Ms. Cha:

The Fresno Irrigation District (FID) has reviewed the Conditional Use Permit No. 2019-001 for which the applicant proposes the construction of a Valvoline Instant Oil Change service center, APN: 563-133-47. FID has the following comment:

1. FID does not operate or maintain any facility located on the subject property as shown on the attached FID exhibit map.

2. For informational purposes, FID's active Clovis – W. Br. No. 115 runs westerly along the south side of Herndon Avenue approximately 100 feet south of the subject property and crosses Fowler Avenue approximately 900 feet southeast of the subject property, as shown on the attached FID exhibit map. Should this project include any street and/or utility improvements along Herndon Avenue, Fowler Avenue, or in the vicinity of this facility, FID requires it review and approve all plans.

Thank you for submitting this for our review. We appreciate the opportunity to review and comment on the subject documents for the proposed project. If you have any questions, please feel free to contact Chris Lundeen at (559) 233-7161 extension 7410 or clundeen@fresnoirrigation.com.

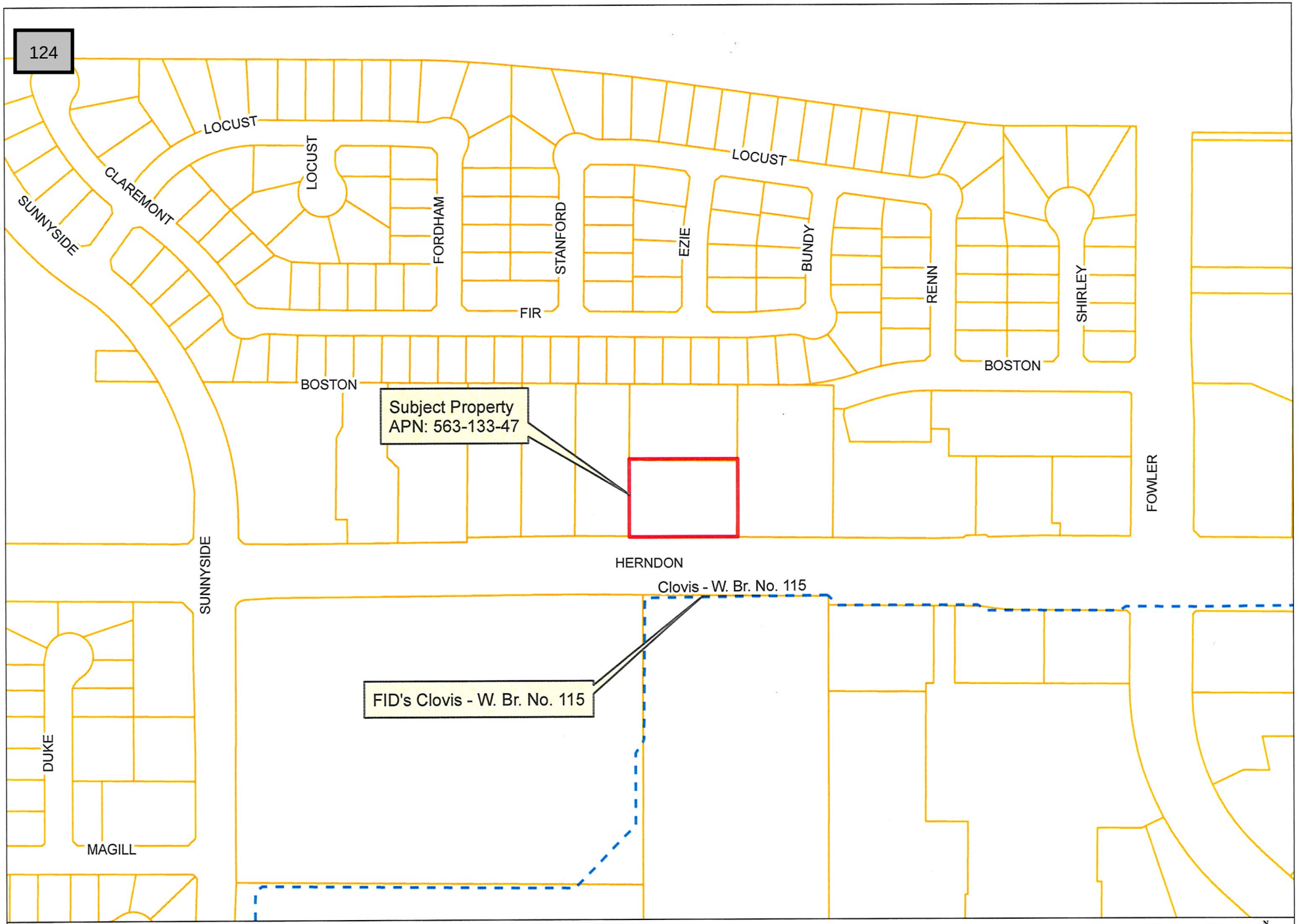
Sincerely,

Laurence Kimura, P.E.
Chief Engineer

Attachment

G:\Agencies\Clovis\Conditional Use Permit\CUP2019-001.doc

BOARD OF DIRECTORS President RYAN JACOBSEN, Vice-President JERRY PRIETO, JR.
CHRISTOPHER WOOLF, GEORGE PORTER, GREGORY BEBERIAN, General Manager BILL STRETCH



This map was produced by the Fresno Irrigation District and is provided for reference and informational purposes only and is not intended to show map scale accuracy or all inclusive map features, nor for legal purposes. FID makes no statements regarding the accuracy of this map as the features shown are in their approximate location. Please contact the FID Engineering Dept. at (559) 233-7161 for further information on FID facilities.

Legend

- FID Canal
- Private Canal
- Abandoned Canal
- FID Pipeline
- Private Pipeline
- Abandoned Pipeline
- Stream Group
- Other-Creek\River
- Other-Pipeline
- FID Boundary
- Railroad
- Streets & Hwys
- Parcel
- FMFCD Acquired Basins
- FMFCD Proposed Basins

0 130 260 Feet

1 inch = 259.45 feet

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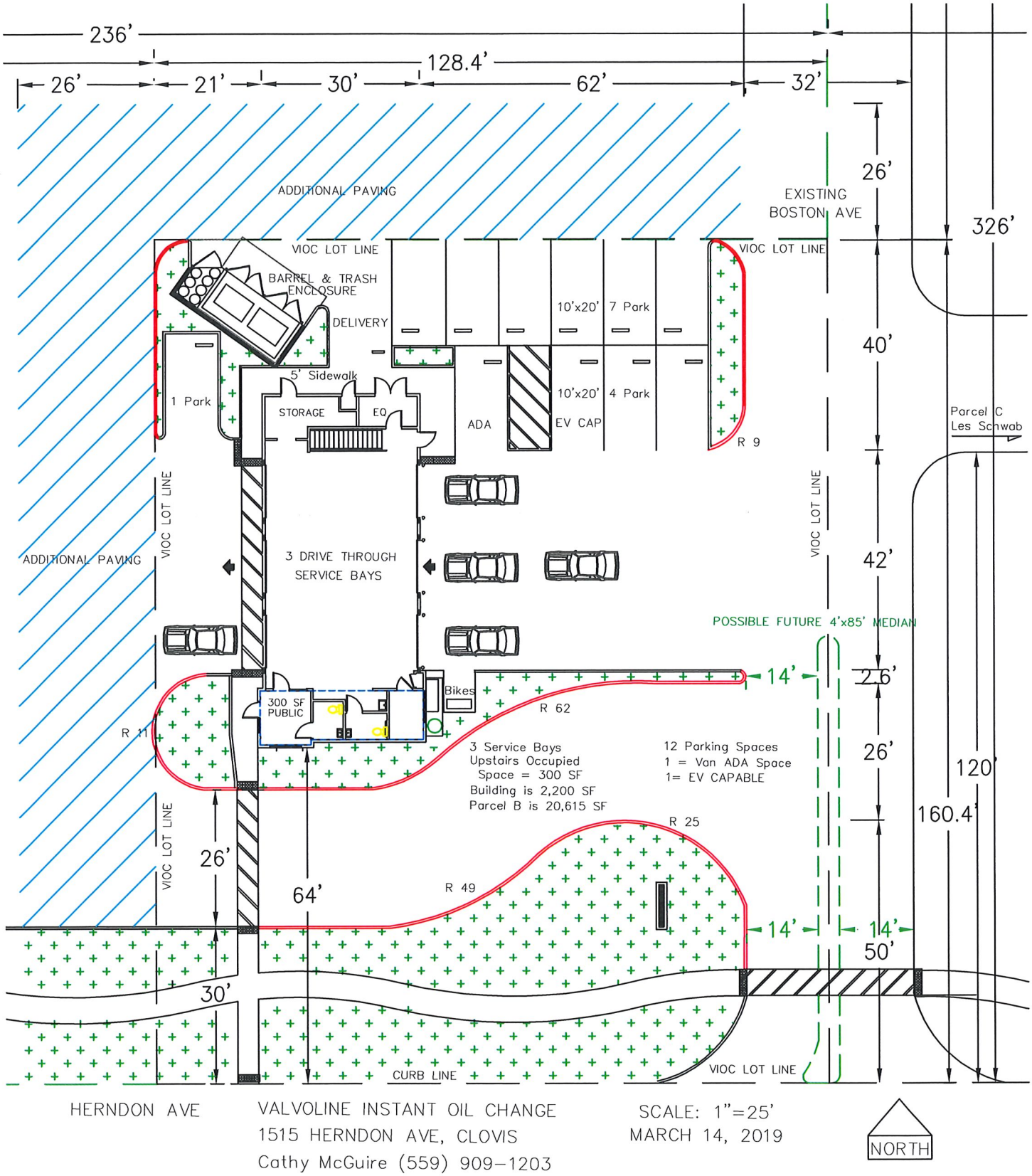
125

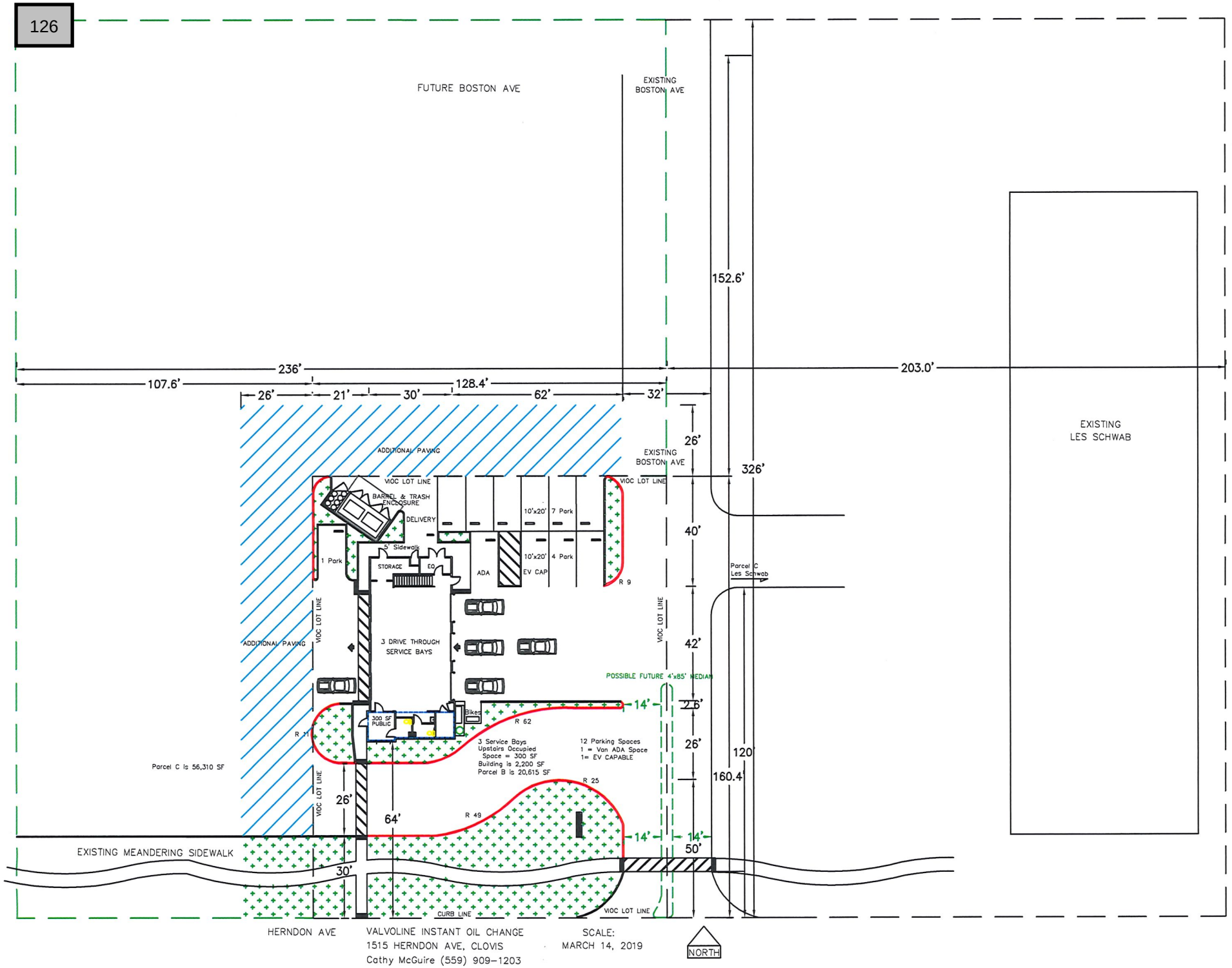


HERNDON AVE

VALVOLINE INSTANT OIL CHANGE
1515 HERNDON AVE, CLOVIS
Cathy McGuire (559) 909-1203

SCALE: 1"=25'
MARCH 14, 2019

NORTH


FUTURE BOSTON AVE
EXISTING BOSTON AVE
EXISTING LES SCHWAB
152.6'
236'
107.6'
128.4'
203.0'
26'
21'
30'
62'
32'
ADDITIONAL PAVING
VIOC LOT LINE
BARREL & TRASH ENCLOSURE
DELIVERY
10'x20' 7 Park
5' Sidewalk
1 Park
STORAGE
EQ
ADA
10'x20' 4 Park
EV CAP
R 9
3 DRIVE THROUGH SERVICE BAYS
POSSIBLE FUTURE 4'x85' MEDIAN
14'
26'
300 SF PUBLIC
Bikes
R 62
R 31
3 Service Bays
Upstairs Occupied
Space = 300 SF
Building is 2,200 SF
Parcel B is 20,615 SF
12 Parking Spaces
1 = Van ADA Space
1= EV CAPABLE
Parcel C is 56,310 SF
R 25
R 49
64'
326'
40'
42'
120
160.4'
50'
Parcel C
Les Schwab
EXISTING MEANDERING SIDEWALK
30'
CURB LINE
HERNDON AVE
VALVOLINE INSTANT OIL CHANGE
1515 HERNDON AVE, CLOVIS
Cathy McGuire (559) 909-1203
SCALE:
MARCH 14, 2019
NORTH

County of Fresno

DEPARTMENT OF PUBLIC HEALTH

David Pomaville, Director
Dr. Sara Goldgraben, Health Officer

February 21, 2019

LU0019903
2604

Courtney Thongsavath, Planning Intern
City of Clovis
Planning and Development Services Department
1033 Fifth Street
Clovis, CA 93612

Dear Ms. Thongsavath:

PROJECT NUMBER: **DRC2019-08**

DRC2019-08; Proposed 2050 Valvoline Instant Oil Change Service.

APN: 563-133-47 **ZONING: C-2** **ADDRESS: 1515 Herndon Avenue**

Recommended Conditions of Approval:

- The applicant is proposing to use and/or store hazardous materials and/or hazardous wastes, they shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the California Health and Safety Code (HSC), Division 20, Chapter 6.95, Section 25507 (http://cers.calepa.ca.gov/). Additional APSA/TIUGA requirements are applicable to this project regarding storage of waste over 55 gallons in containers/tanks in below grade areas. Contact the Certified Unified Program Agency at (559) 600-3271 for more information.

- The proposed facility construction and project has the potential to expose nearby residents to elevated noise levels. Consideration should be given to your City's municipal code.

- As a measure to protect ground water, all water wells and/or septic systems that exist or have been abandoned within the project area should be properly destroyed by an appropriately licensed contractor.

  Prior to destruction of agricultural wells, a sample of the upper most fluid in the water well column should be sampled for lubricating oil. The presence of oil staining around the water well may indicate the use of lubricating oil to maintain the well pump. Should lubricating oil be found in the well, the oil should be removed from the well prior to placement of fill material for destruction. The "oily water" removed from the well must be handled in accordance with federal, state and local government requirements.

- Should any underground storage tank(s) be found during the project, the applicant shall apply for and secure an Underground Storage Tank Removal Permit from the Fresno County Department of Public Health, Environmental Health Division. Contact the Certified Unified Program Agency at (559) 600-3271 for more information.

REVIEWED BY:

Kevin Tsuda, R.E.H.S.
Environmental Health Specialist II (559) 600-33271

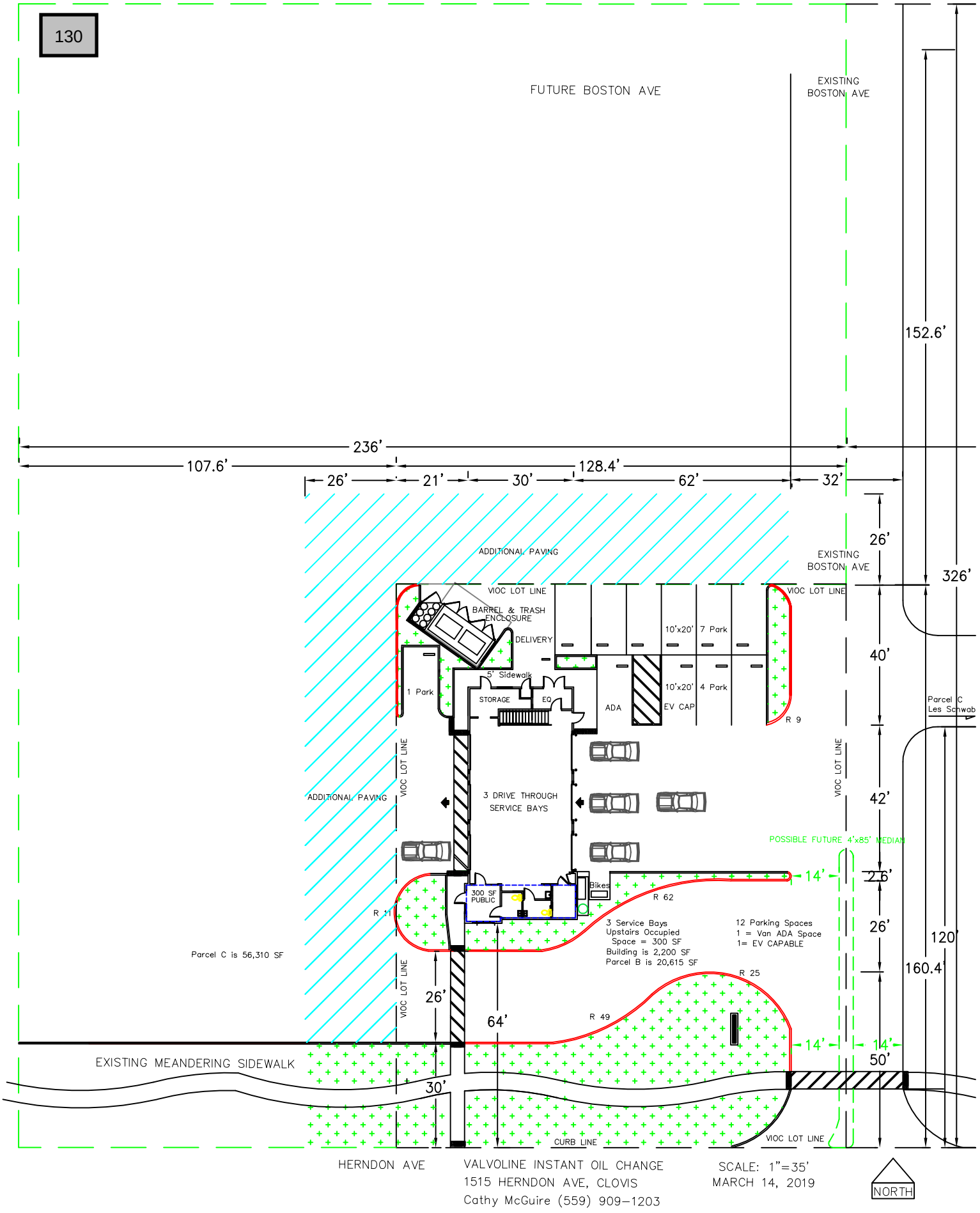
KT

cc: Damean Jackson- Environmental Health Division (CT. 55.12)
Cathy McGuire- Applicant (moomcguire@aol.com)

SITE PLAN

ATTACHMENT 4

130

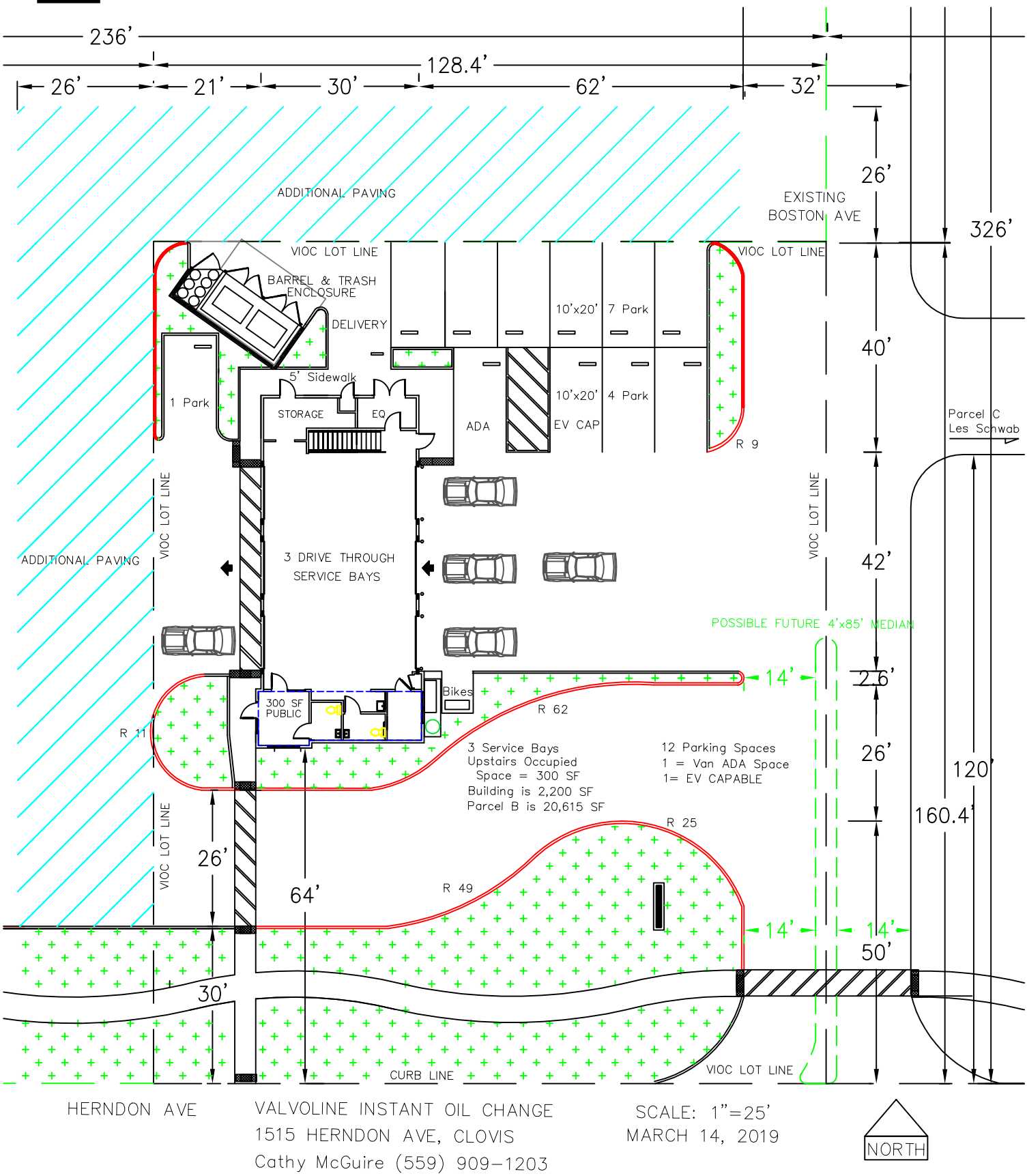


VALVOLINE INSTANT OIL CHANGE
1515 HERNDON AVE, CLOVIS
Cathy McGuire (559) 909-1203

SCALE: 1"=35'
MARCH 14, 2019

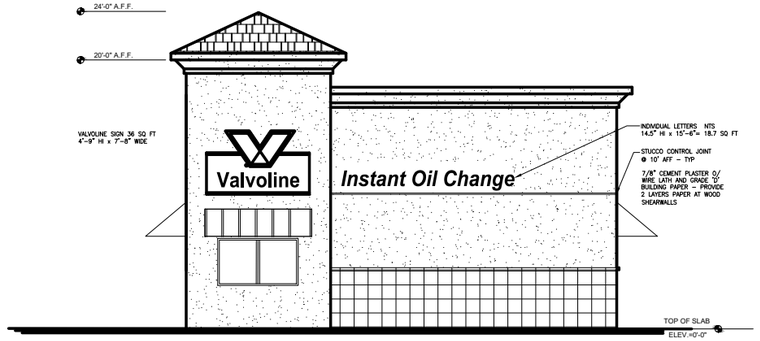
NORTH

131


236'
128.4'
26'
21'
30'
62'
32'
26'
40'
42'
26'
120'
160.4'
50'
326'
ADDITIONAL PAVING
EXISTING
BOSTON AVE
VIOC LOT LINE
BARREL & TRASH
ENCLOSURE
DELIVERY
10'x20' 7 Park
5' Sidewalk
1 Park
STORAGE
EQ
ADA
10'x20' 4 Park
EV CAP
R 9
Parcel C
Les Schwab
3 DRIVE THROUGH
SERVICE BAYS
POSSIBLE FUTURE 4'x85' MEDIAN
14'
26'
Bikes
300 SF
PUBLIC
R 62
R 11
3 Service Bays
Upstairs Occupied
Space = 300 SF
Building is 2,200 SF
Parcel B is 20,615 SF
12 Parking Spaces
1 = Van ADA Space
1= EV CAPABLE
R 25
R 49
64'
14'
14'
CURB LINE
HERNDON AVE
VALVOLINE INSTANT OIL CHANGE
1515 HERNDON AVE, CLOVIS
Cathy McGuire (559) 909-1203
SCALE: 1"=25'
MARCH 14, 2019
NORTH

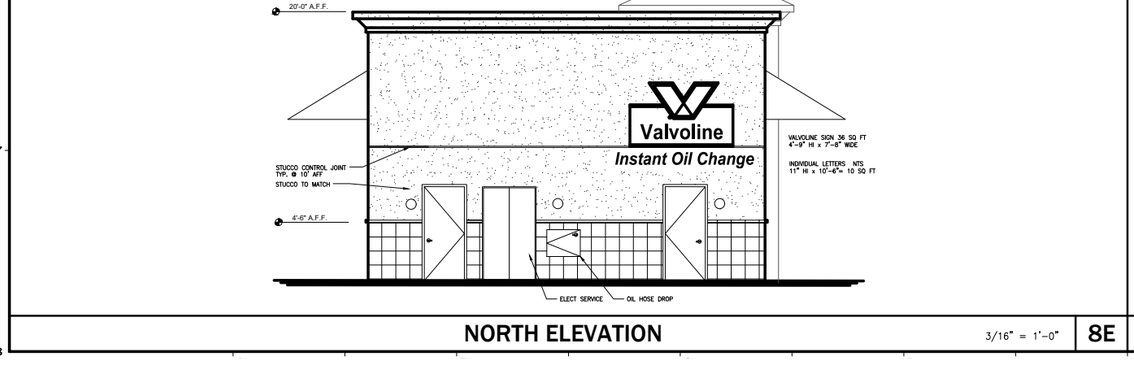
FLOOR PLAN AND ELEVATIONS

ATTACHMENT 5



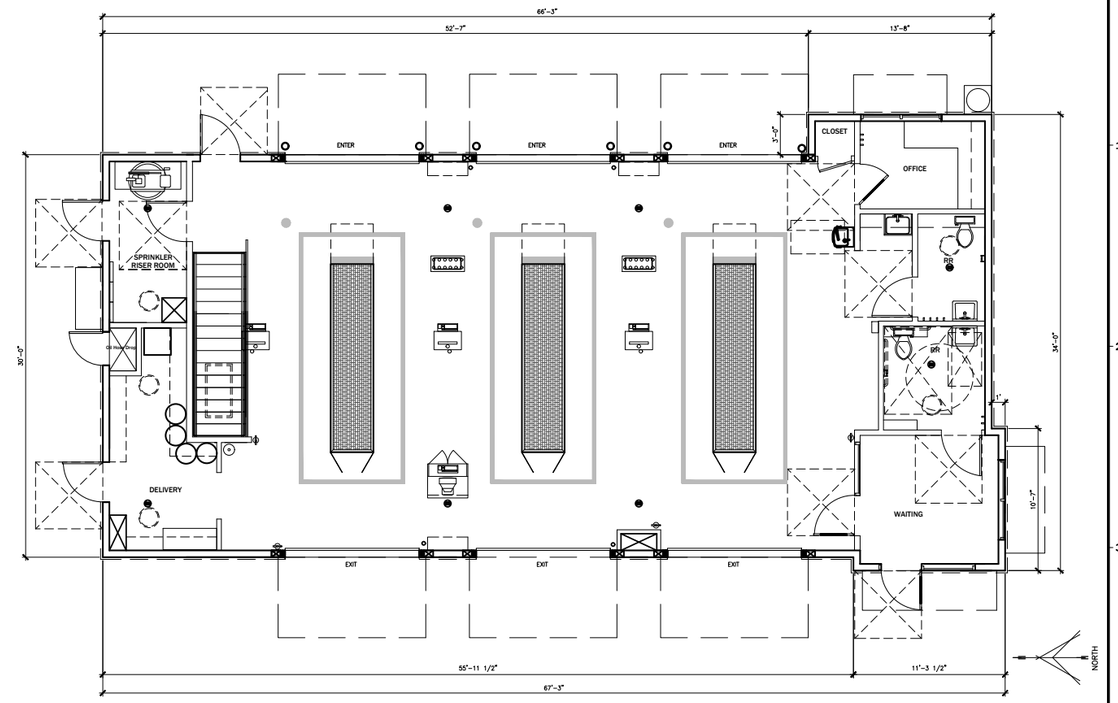
SOUTH ELEVATION

3/16" = 1'-0" | 2E



WEST ELEVATION

3/16" = 1'-0" | 4E

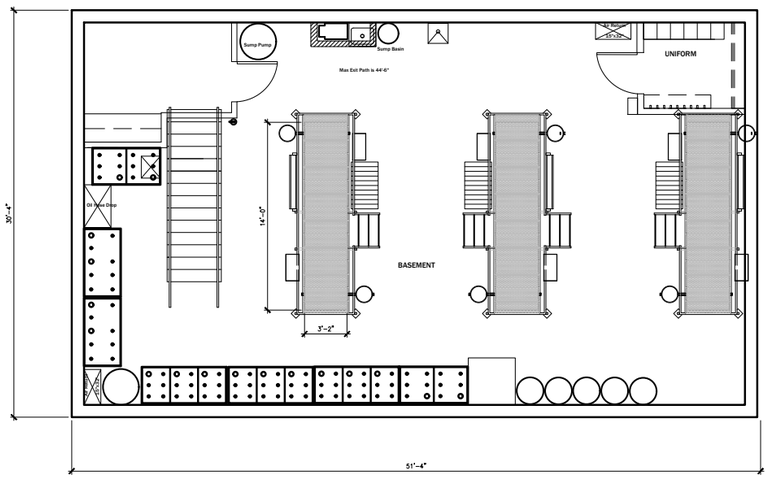


GROUND FLOOR PLAN

3/16" = 1'-0" | 4K

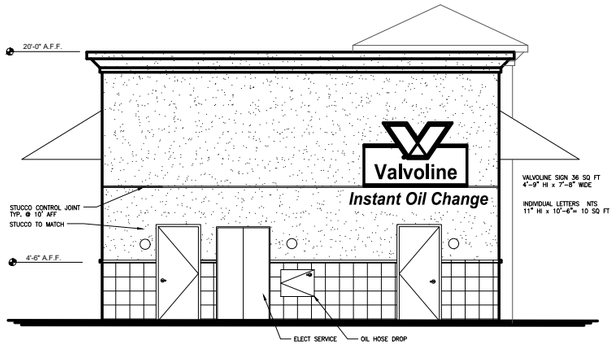
EAST ELEVATION

3/16" = 1'-0" | 6E



BASEMENT FLOOR PLAN

3/16" = 1'-0" | 8K



NORTH ELEVATION

3/16" = 1'-0" | 8E

MARK	DATE	DESCRIPTION

OWNERS: RICK & CATHY MCGUIRE
5424 WEST CYPRESS AVE. VISALIA CA 93277
CATHY'S CELL: (559) 909-1203 EMAIL: moomcguire@aol.com
moomcguire@aol.com

DARREN VERDEGAAL
5500 10TH AVENUE HANFORD, CA 93230
(559) 381-9472
darren@verdegaaldesigns.com

PROPOSED DEVELOPMENT FOR:

VALVOLINE INSTANT OIL CHANGE

1515 HERNDON AVE. CLOVIS, CA

SHEET TITLE:

PROJECT NO:

DATE: 12-18-18

SHEET NUMBER 2 SHT OF

Conceptual Elevations Only. Subject to change during Site Plan Review.

EAST

NORTH

WEST

SOUTH